

MEETING NOTICE

POLK COUNTY PLANNING COMMISSION
OCTOBER 19, 2021, 6:00 P.M.
POLK COUNTY COURTHOUSE
FIRST FLOOR CONFERENCE ROOM
850 MAIN STREET
DALLAS, OREGON

AGENDA

1. CALL TO ORDER AND NOTE OF ATTENDANCE
2. MINUTES OF FEBRUARY 16, 2021 PUBLIC HEARING
3. PUBLIC HEARING: LAND USE DETERMINATION LUD 21-11;
ALTERATIONS TO A HISTORIC BUILDING
4. COMMUNICATIONS FROM THE PUBLIC ON ITEMS NOT ON THE
AGENDA
5. COMMUNICATIONS FROM THE PLANNING COMMISSION
6. COMMUNICATIONS FROM PLANNING STAFF
7. ADJOURNMENT

Attachments:

- A - Minutes of Public Hearing held on February 16, 2021.
- B - Planning Commission Memorandum and attachments for LUD 21-11.

**POLK COUNTY PLANNING COMMISSION
FEBRUARY 16, 2020 AT 6:00 P.M.
POLK COUNTY COURTHOUSE
FIRST FLOOR CONFERENCE ROOM
850 MAIN STREET
DALLAS, OREGON**

The following are the minutes of the Polk County Planning Commission Public Hearing held on February 16, 2021 in Dallas, Oregon:

1. CALL TO ORDER AND NOTE OF ATTENDANCE

Michael Schilling called the Planning Commission Public Meeting to order at 6:01 P.M.

Present: Michael Schilling, Bill Farmer, Tom Finnegan, and Chris Patoine.

Absent: None.

Staff: Austin McGuigan and Morgan Snyder.

Public: Polk County Assessor Valerie Patoine and Applicant Representative Lawrence Schwabe.

2. MINUTES OF NOVEMBER 17, 2020

Michael Schilling asks if there are any comments on the minutes from the November 17, 2020 Planning Commission Public Hearing. Schilling asks if there is a motion to approve the minutes. Chris Patoine makes the motion to approve the minutes, Bill Farmer seconds. Motion passed.

3. PLANNING COMMISSION PUBLIC HEARING

Chris Patoine makes a public declaration that he is married to the Polk County Assessor but does not have a conflict of interest in this case. Austin McGuigan confirmed that neither the Polk County Planning Commission or the Polk County Assessor make a decision on whether or not the application is approved. That decision is to be made by the governing body, the Polk County Board of Commissioners, after receiving a recommendation from the Planning Commission.

Schilling opens the public hearing for Special Assessment 20-01 at 6:04.

McGuigan provides background for SA 20-01. He explains the relevant statutes from state law governing this special assessment and the role the Planning Commission serves in making a recommendation to the Board of Commissioners for this file. He then begins a brief overview of the subject property and the applicant's proposal and describes the conclusions made by planning staff as found in the Memorandum for this meeting. McGuigan reads and explains the analysis that led to those conclusions, and states that planning staff recommends that the Planning Commission recommends approval to the Board of Commissioners.

Schilling and McGuigan clarify a public hearing procedure. Schilling opens the public hearing for public comment.

Applicant Representative Lawrence Schwabe begins testimony by describing the goal of the applicant for the property, the partner organizations involved in their management plan to preserve the native habitat, and the significance of native habitat restoration in Polk County.

Chris Patoine asks Schwabe why the applicant would choose to do this project. Schwabe provides background on tribal motivation to protect native landscapes and resources. Chris Patoine and Schwabe discuss the role of open space in achieving this goal.

Tom Finnegan asks Schwabe about the factors the applicant considered when making the management plan for the property. Schwabe discusses the history of the property, the flora and fauna already on site, specific species that have been identified, and partnership with Oregon Department of Fish and Wildlife.

Schilling asks if there are any questions. Farmer states the project sounds wonderful.

Chris Patoine asks about how the property is accessed.

Schwabe explains that there is an easement from Crowley Road.

Schilling and McGuigan clarify a public hearing procedure. Schilling asks if anyone else from the public would like to comment.

Polk County Assessor Valerie Patoine outlines the tax account information for the property and confirms the planning staff's findings.

No one else from the public is present. Schilling closes the public hearing to public comment. Schilling asks McGuigan further clarification on the context of a special assessment.

McGuigan discusses the difference between an activity and a use of land, agricultural lands designation process, and various examples of uses that could qualify as open space.

Schilling requests clarification of the role of the assessor in this file.

McGuigan explains state law further.

Schilling and McGuigan clarify a public hearing procedure. Schilling asks if there are any further questions or comments.

McGuigan reads the recommended draft motion in the memo for the Planning Commission to consider.

Finnegan makes the motion in the memo, Farmer seconds. Schilling calls for a vote on a recommendation for approval. The vote is unanimous for a recommendation of approval.

4. COMMUNICATIONS FROM THE PUBLIC FOR ITEMS NOT ON THE AGENDA

Schilling asks if there is any further communication from the public. None are presented.

5. COMMUNICATIONS FROM THE PLANNING COMMISSION

Schillings asks if there is any further communication from the Planning Commission. None are presented.

6. COMMUNICATIONS FROM THE PLANNING STAFF

Schilling asks if there is any further communication from the Planning Staff. None are presented.

7. ADJOURNMENT

Schilling adjourned the meeting at 6:37 P.M.



POLK COUNTY

POLK COUNTY COURTHOUSE * DALLAS, OREGON 97338
(503) 623-9237 * FAX (503) 623-6009

COMMUNITY DEVELOPMENT

AUSTIN M'GUIGAN
Director

MEMORANDUM

TO: Polk County Planning Commission

FROM: Miranda Muller, Associate Planner

DATE: October 12, 2021

RE: Alteration to a Historic Building; Polk County Planning File LUD 21-11.

ISSUE: The applicant is proposing exterior alterations to a historic building, the Phillips House, which are intended to make the dwelling more livable for the intended occupants. The Phillips House is currently listed on the Polk County Historic Resource Inventory, the Statewide Inventory, and the National Register of Historic Places.

RECOMMENDATION: Based on the findings in the Staff Report, staff recommends the Planning Commission deny the request for the proposed exterior alterations.

NATURE OF REQUEST AND BACKGROUND: This memo to the Planning Commission provides background and context regarding the proposed exterior alterations to the Phillips House, which include altering the existing front porch, wood siding, wood windows, exterior lighting, foundation, and roof of the Phillips House. In addition, the applicant is proposing to remove the existing single-story rear addition and replace it with a two-story rear addition.

The Polk County Board of Commissioners designated the Planning Commission as the Landmarks Commission on October 2, 2001. As such, the Planning Commission will conduct a public hearing regarding this request on October 19, 2021 at 6:00 P.M., at the Polk County Courthouse.

The Phillips House is inventoried as a historic building in the Polk County Historic Resource Inventory. The Phillips House is also identified as a historic building with the State Historic Preservation Office (SHPO) and is included on the National Register of Historic Places (National Register). The Phillips House was built in 1853 by John Phillips, an early Oregon pioneer and trained cabinetmaker. According to the National Register, the Phillips House is significant for the following:

“The John Phillips house is one of the diminishing number of structures dating from Oregon’s pioneer and territorial days. It is a typical example of the carpenterly Classical Revival house pioneer families of the 1840s tended to build for themselves in the 1850s after they had established themselves. It is somewhat untypical however in that it tends to be somewhat more spare or severe in line than most of these Classical cottages which spring up around the Willamette Valley, and these houses as a whole tend to be somewhat more spare than their contemporary counterparts in the East. On the other hand, though proportions are rather timid, detail of the columns and architraves is more meticulous than is usual in these Willamette Valley houses. It is an early example in Oregon of a house with a balloon frame.”

At the time of the inventory for the National Register in 1976, the Phillips House was in good condition. According to *Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek revival Architecture*, Greek Revival (Classical Revival) was a style of

architecture that carpenters latched onto.¹ A main component of the Classical Revival architecture is symmetry. This detail can be seen by the Phillips House mirror design with chimneys located on both ends of the roof line, a centered front entryway with two windows on either side, and four windows on the south and north sides of the Phillips House.



March 15, 1976. [Phillips (John) House Polk County, Oregon]. [Photograph]. National Register. <https://catalog.archives.gov/id/77851220>

National standards for rehabilitation of historic properties should “acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building’s historic character.”² Although these standards are not directly applicable to this application, they can provide guidance when evaluating the applicable standards listed in Polk County Zoning Ordinance (PCZO) 183.050. The National Park Services specific guidance on rehabilitation methods and best practices described in *The Secretary of the Interior’s Standard for Treatment of Historic Properties* is as follows:

- A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

¹ McPherson, Beth Ann Spiryson, "Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek Revival Architecture" (1996). Dissertations, Theses, and Masters Projects. Paper 1539626022. Page 52.

² Reconstruction as a Treatment and Standards for Rehabilitation - National Park Service, Technical Preservation Services, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf> Viewed 9/14/2021.

- Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

On March 29, 2021, the Polk County Building Official determined the proposed development constitutes exterior “alterations.” On March 31, 2021, staff provided notice to the Polk County Planning Commission of the applicant’s building permit, including background information. On September 24, 2021, staff sent notice of the Planning Commission public hearing to surrounding property owners and to the Oregon SHPO. Notice was posted on the subject property on or prior to September 29, 2021. Notice of the Planning Commission public hearing for file LUD 21-11 appeared in the Polk County *Itemizer-Observer* Newspaper on September 29, 2021. Notification of this proceeding has been fulfilled pursuant to PCZO Sections 111.240(B), 111.340 and 111.360. Pursuant to PCZO Chapter 183, the Planning Commission shall conduct a public hearing and make a decision on this matter.

DISCUSSION/ALTERNATIVES:

1. Staff recommends that, based on the findings in the Staff Report, the Planning Commission find the proposed exterior alterations are not in compliance with PCZO Section 183.050(B), and **deny** this application, unless the applicant can provide alternative evidence at, or prior to, the public hearing for the Planning Commission to consider.
2. Other.

FISCAL IMPACT: Staff has not identified additional fiscal impacts to Polk County related to this matter beyond the staff time for processing the request.

**Polk County Community Development Department
Planning Division Staff Report**

APPLICATION FOR: The Polk County Planning Commission will hold a public hearing to consider exterior alterations to a historic structure, the Phillips House, which is included on the Polk County Historic Resource Inventory, the Statewide Inventory, and the National Historic Register. The applicant is requesting to alter the existing front porch, wood siding, wood windows, exterior lighting, foundation, and roof of the Phillips House. In addition, the applicant is proposing to remove the existing single-story rear addition and replace it with a two-story rear addition. The subject property is located in the Exclusive Farm Use (EFU) Zoning District and is an approximately 2.3 acre parcel that was created as a nonfarm parcel for historic property.

OWNER: David Knieling Trust and Rebecca Knieling Trust

APPLICANT: Haley Knieling-Norwood

FILE NUMBER: LUD 21-11

SUBJECT PROPERTY: 6565 Spring Valley Road NW, Salem, Oregon 97304 (T6S, R4W, Section 25, Tax Lot 200)

REVIEW AND DECISION CRITERIA: Polk County Zoning Ordinance (PCZO) Section 183.050(A) and (B).

HEARING DATE & TIME: October 19, 2021 at 6:00 PM

HEARING LOCATION: Polk County Courthouse, First Floor Hearing/Conference Room, 850 Main Street, Dallas, Oregon 97338

STAFF CONTACT: Miranda Muller; Phone: (503) 623-9237; Email: muller.miranda@co.polk.or.us

I. PROJECT AND PROPERTY DESCRIPTION

REQUEST: The applicant is proposing exterior alterations to a historic buildings, the Phillips House, which include altering the front porch, wood siding, wood windows, exterior lighting, foundation, and roof of the Phillips House. In addition, the applicant is proposing to remove the existing single-story rear addition and replace it with a two-story rear addition. The Phillips House was included in the Polk County Comprehensive Plan Inventory of Historic Sites by Polk County Ordinance No. 92-5, adopted on May 13, 1992. This review is required by Polk County Zoning Ordinance (PCZO) 183.050 in order to determine whether or not the proposed exterior alterations would maintain the historic character and appearance of the Phillips House. This review is required prior to the issuance of a building permit for the proposed exterior alterations.

The scope of the applicant's project is more extensive than what is to be evaluated as part of this application; however, pursuant to PCZO 183.050(A) only exterior remodeling and alterations require a review. Therefore, staff's evaluation will only encompass the proposed exterior alterations to the Phillips House.

PARCEL SIZE: 2.3 acres

Zoning:	Comprehensive Plan Designation	Zoning Designation
Subject Property	Agriculture	Exclusive Farm Use (EFU)
Property North	Agriculture	Exclusive Farm Use (EFU)
Property East	Agriculture	Exclusive Farm Use (EFU)
Property South	Agriculture	Exclusive Farm Use (EFU)
Property West	Agriculture	Exclusive Farm Use (EFU)

PROPERTY DESCRIPTION: The subject property is located at 6565 Spring Valley Road, Salem, Oregon 97304 (T6S, R4W, Section 25, Tax Lot 200). The subject property was lawfully created in accordance with Polk County Subdivision and Partition Ordinance (PCSO) 91.950(1)(b), as evidenced by Partition Plat No. 2005-0005 recorded in Polk County Clerk Document 2005-001565, dated February 1, 2005. The subject property has not been conveyed since the recording of this Partition Plat.

PCZO 136.070(E) allows the creation of parcels under the 80 acre minimum parcel size in the EFU zone in order to separate historic landmarks from farm properties and entitle the property owner to a new additional single-family dwelling on the remnant parcel. PCZO 136.040(J) allows a property owner to then replace a dwelling that is listed on the Polk County Historic Inventory and on the National Register with a new dwelling on the remnant parcel and still retain the historic landmark dwelling that it is intended to replace. Replacement dwelling criteria not involving a historic property requires that the property owner remove, demolish, or convert the dwelling to be replaced to an allowable nonresidential use.

The partition creating the subject property (LP 04-02) was authorized under the criteria listed in PCZO 136.070(E). Simultaneously, the property owner was also authorized to replace the Phillips House pursuant to PCZO 136.040(J) with a new additional dwelling on the remnant farm parcel by planning authorization RD 04-03. Both of these criteria grant opportunities to partition land and establish dwellings that are not otherwise available in the EFU zone in order to promote the retention of historically significant properties. By exercising LP 04-02 and RD 04-03, the current property owner was granted an additional parcel and an additional dwelling due to the historic significance of the Phillips House to Polk County.

The dwelling that replaced the Phillips House pursuant to RD 04-03 and LP 04-02, is currently located at 6505 Spring Valley Road NW, Salem, Oregon (T6S, R4W, Section 25, Tax Lot 203). The full records for planning files RD 04-03 and LP 04-02 can be found in the Polk County Community Development records.

Based on Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel number 41053C0125F, dated December 19, 2006, the subject property is not located within the regulated 100-year floodplain. Based on a review of the Polk County Significant Resources Area (SRA) Map, the subject property does not contain any additional inventoried significant resources. The subject property is not within the Willamette River Greenway. Based on the National Wetlands Inventory (NWI) Map, Amity and Mission Bottom Quadrangles, the subject property does not contain any inventoried wetland areas.

Access: The subject property currently has frontage along and access to Spring Valley Road. Spring Valley Road is classified as a Local Road as defined in the Polk County Transportation Systems Plan, Figure 3.

Services: The subject property is served by an on-site water source (spring) and is not located within an area served by a community water district. The subject property is proposed to be served by a new individual sewage disposal (septic) system.

School: Salem School District 32J

Fire: Spring Valley Rural Fire Protection District

Police: Polk County Sheriff

II. COMMENTS RECEIVED

Environmental Health: The proposed addition would need to maintain a minimum 10 foot setback distance from any existing septic system drainfield lines and a minimum five (5) foot setback distance from any existing septic tank. If the property owner installs a new on-site septic system, then a Major Alteration permit would be required prior to installation.

No other comments were received at the writing of this staff report.

III. REVIEW AND DECISION CRITERIA

The review and decision criteria for exterior alterations to a historic building are listed in PCZO Section 183.050(A) and (B). Staff findings and analysis is provided below.

The intent of PCZO Chapter 183 and the following criteria is to promote historic, educational, cultural, economic, and general welfare of the public through the preservation, restoration, and protection of buildings, structures and appurtenances, sites, places, and elements of historic and archaeological value and interest within Polk County.

The Phillips House was determined to be of historic value and interest to Polk County when it was inventoried as a historic building in the Polk County Historic Resource Inventory pursuant to Polk County Ordinance No. 92-5. In addition, the Phillips House is also identified as a historic building with the State Historic Preservation Office (SHPO) and is included on the National Register of Historic Places (National Register). The Phillips House was built in 1853 by John Phillips, an early Oregon pioneer and trained cabinetmaker. According to the National Register, the Phillips House is significant for the following:

“The John Phillips house is one of the diminishing number of structures dating from Oregon’s pioneer and territorial days. It is a typical example of the carpenterly Classical Revival house pioneer families of the 1840s tended to build for themselves in the 1850s after they had established themselves. It is somewhat untypical however in that it tends to be somewhat more spare or severe in line than most of these Classical cottages which spring up around the Willamette Valley, and these houses as a whole tend to be somewhat more spare than their contemporary counterparts in the East. On the other hand, though proportions are rather timid, detail of the columns and architraves is more meticulous than is usual in these Willamette Valley houses. It is an early example in Oregon of a house with a balloon frame.”

At the time of the inventory for the National Register in 1976, the Phillips House was in good condition. According to *Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek revival Architecture*, Greek Revival (Classical Revival) was a style of architecture that carpenters latched onto.³ A main component of the Classical Revival architecture is symmetry. This detail can be seen by the Phillips House mirror design with chimneys located on both ends of the roof line, a centered front entryway with two windows on either side, and four windows on the south and north sides.

Some historic buildings are significant due to the person(s) who resided in the dwelling. However, according to the Polk County Historic Inventory, the Phillips House is significant due to its architecture because it is an excellent example of Classical Revival. The Polk County Historic Inventory states:

“In the case of the Phillips House characteristic features include the façade arrangement and details of the porch and fenestration. The façade is arranged around a central entrance, flanked by double-hung sash windows. The front porch—which originally extended across the full-width of the house—is supported by capped, paneled posts. Particularly noteworthy are the pedimented window heads and Federalist entry, which is composed of a paneled door, transom and sidelights. Other features, such as the simple, lap siding and end-wall interior chimneys, are typical of very early buildings in Oregon.

Alterations include the partial enclosure of the front porch, a change which occurred during the occupation of the Phillips family. Other changes involve the

³ McPherson, Beth Ann Spiryson, "Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek Revival Architecture" (1996). Dissertations, Theses, and Masters Projects. Paper 1539626022. Page 52.

alteration of the rear wing. Neither alteration significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.”

For the following analysis, staff’s reference to the primary dwelling will mean the front portion of the Phillips House, staff’s reference to the existing addition will mean the existing single-story rear addition, and staff’s reference to the new addition will mean the proposed two-story rear addition.

1. Exterior Remodeling or Alteration of Historic Buildings, Sites or Objects

The building official shall submit to the Planning Director or designee all building permit requests for exterior alteration of a historic landmark. The Planning Director, within five (5) days, shall submit the request to the Commission for review under the criteria set out in Section 183.050 (B). Within 45 days of receipt of a complete application, the Commission shall hold a public hearing regarding the matter and prepare findings to support their action. At least 20 days prior to the hearing, the Director shall mail a written notice of the hearing and nature of the application to the property owner, all property owners within 500 feet of the parcel upon which the landmark is located and the State Historic Preservation Office (SHPO). [PCZO 183.050(A)]

Findings: Initially, the applicant submitted planning application LUD 19-30 on August 22, 2019 to evaluate the proposed exterior alterations of a historic building. However, that application expired. On September 23, 2020, the applicant re-applied (LUD 20-35), however, that application was withdrawn. The applicant submitted a building permit to the Polk County Community Development Department on March 16, 2021 (687-20-001429-STR) for the proposed improvements contemplated in this review. On March 19, 2021, the applicant submitted planning application (LUD 21-11) to authorize the proposed exterior alterations to the Phillips House. On March 29, 2021, the Polk County Building Official notified the Planning Director that the proposed improvements constitute an exterior “alteration” of a historic landmark.

Staff noticed all Planning Commission members of the pending application on March 31, 2021. On April 6, 2021 staff deemed the application incomplete and sent a letter requesting additional information. The applicant provided additional information and the application was deemed complete on September 9, 2021. A public hearing was set for October 19, 2021.

Pursuant to PCZO Chapter 183, the Planning Commission shall conduct a public hearing and make a decision on the matter. On September 24, 2021, staff sent notice of the Planning Commission public hearing to the Oregon SHPO and to property owners within 750 feet of the subject tract pursuant to PCZO 111.350(A)(3), which is more restrictive than PCZO 183.050(A). Notice was posted at the subject property on or prior to September 29, 2021. Notice of the Planning Commission public hearing for file LUD 21-11 appeared in the Polk County *Itemizer-Observer* Newspaper on September 29, 2021. Staff finds the notification of this proceeding has been fulfilled in compliance with Polk County Zoning Ordinance (PCZO) Sections 183.050(A), 111.240(B), 111.340 and 111.360.

- A. If the Commission finds the proposed alterations to be in compliance with Section 183.050 (B), they shall submit to the Polk County Building Official a "clearance for permit" which will indicate that the requirements of this Chapter have been satisfied by the request. [PCZO 183.050(A)(1)]**

Finding: If the Planning Commission, in their capacity as the Polk County Landmarks Commission, approve the proposed exterior alterations to the Phillips House, after making findings of consistency with PCZO 183.050(B), they shall direct staff to issue a “clearance for permit” to the Polk County Building Official as land use clearance for building permit No. 687-20-001429-STR.

- B. If the Commission finds the proposed alterations do not comply with standards under Section B, they must either: 1) approve the application subject to compliance with conditions which will bring the application into conformance with applicable standards listed in Section 183.050 (B) or, 2) deny the request. Decisions of the**

Commission shall be subject to the appeal provisions in Section 111.280. [PCZO 183.050(A)(2)]

Finding: The Planning Commission, in their capacity as the Polk County Landmarks Commission, could approve the proposed exterior alterations to the Phillips House, subject to compliance with conditions that bring the proposal into compliance with the applicable standards listed in PCZO 183.050(B); or, the Planning Commission could find that the applicant has not demonstrated compliance with the applicable criteria, or that conditions of approval could not bring the application into conformance with the applicable standards, and the Planning Commission could then deny the application.

2. Standards for Exterior Alteration of an Historic Building

The Commission shall approve an application for exterior alteration of a historic landmark if the proposed change is determined to be harmonious and compatible with the appearance and character of the landmark and shall deny an application if the proposed alteration would adversely affect the architectural significance or the integrity of historical appearance of the building. In determining whether to approve or deny an application, the Commission shall apply the following standards:

A. Retention of Original Construction. So far as practicable, all original exterior materials and details shall be preserved. [PCZO 183.050(B)(1)]

Findings: The proposed exterior alterations to the Phillips House include altering the existing front porch, wood siding, wood windows, lighting, foundation, and roof of the Phillips House. In addition, the applicant is proposing to remove the existing single-story rear addition and replace it with a two-story rear addition.

Pursuant to PCZO 183.050(B)(1), the applicant should use the original exterior material to the maximum extent practicable. However, based on the applicant's statements, the majority of the existing materials are not salvageable due to a combination of dry rot, weathering, and cracked or broken window panes. The applicant states that they intend to reuse details that can be salvaged and have replica's made for components that could not be saved, such as the columns, window trims and sashes, and other detailed moldings. Specifically for the columns, the applicant states that they intend to retain the existing columns on the front porch as much as possible. To ensure these columns retain their historical significance, staff recommends that the applicant shall ensure any replica components be made of the same material as the original and shall also maintain the same dimensions and details as the original.

The applicant is proposing to replace all the existing fenestrations on the Phillips House because a majority of the existing window panes are broken or cracked. The applicant intends to reuse details that can be salvaged and have replica's made for components that could not be saved for the window trim and sashes. Additionally, the applicant is proposing to retain the pedimented window heads located on the front porch, along with the Federalist entry. However, the applicant asserts that vinyl fenestrations would best replicate the existing wood fenestrations from a visual standpoint. The applicant has not expanded on how vinyl fenestrations would be harmonious and compatible with the appearance and character of the Phillips House. Nor how it would comply with the legal requirement that original materials be retained so far as practicable. Staff finds that vinyl windows rarely match the visual characteristics of wood windows and the applicant has not provided details demonstrating how the visual characteristics of the Phillips House windows would be retained. Based on photographs of the Phillips House provided by the applicant, the existing windows have wood mullions between each light that provide texture and dimensionality. According to the materials list provided by the applicant, the proposed vinyl windows would have vinyl grids inside a large window pane instead of exterior mullions.

According to the Polk County Historic Inventory, the Phillips House is historically significant because it is a rare example of an early building type. This fact further reinforces the importance of retaining original materials. Staff does not find that the vinyl windows as proposed would retain original materials on the primary dwelling so far as practicable. Further, the proposed grids inside

the vinyl window panes do not compare to the details presented by existing wood mullions because the shadow lines and dimensionality would be altered. The windows on the south side of the primary dwelling (front) are single pane and thus do not have wood mullions. A vinyl window that could replicate the elements of the existing wood window, such as the shadow lines, dimensionality, and paint specifically formulated for vinyl could potentially demonstrate compliance with the criteria. However, the applicant has not demonstrated how the vinyl windows proposed would retain original materials and details so far as practicable. Therefore, staff finds that the application does not comply with this criterion.

Based on the applicant's narrative, the existing wood siding of the Phillips House has deteriorated due to dry rot to the point that retention of any of the original siding is not practicable. Based on photographs provided by the applicant, it appears that the Phillips House siding is beveled. The applicant is proposing to replace all of the existing wood siding on both the primary dwelling and the proposed new addition with Hardie Lap Clear Wood Siding, which is a cement siding based on a conversation with the Polk County Building Official. The applicant states that their reason for choosing this type of siding is because wood siding is currently unavailable. This statement is not factual. Beveled wood cedar lap siding in clear and finger jointed are readily available. Staff finds that the cement siding, as proposed, would not retain original materials on the primary dwelling so far as practicable.

It is unclear if the proposed cement siding would be beveled in order to maintain the historic texture of the Phillips House. If this application were to be approved, to ensure this textural aspect of the Phillips House would be maintained, staff recommends a condition of approval that the new siding be beveled. The applicant states that the existing reveal for the siding is not cohesive throughout the Phillips House. The siding fluctuates between a 6 inch reveal, a 5.5 inch reveal, and a 7 inch reveal. The applicant is proposing a cohesive reveal for the proposed siding of 6 inches. Staff finds that a slight alteration to the length of reveal in the siding in order to obtain a single cohesive reveal is reasonable because the proposed change in reveal would not change the type or style of siding and a 6 inch reveal would split the difference between the existing reveals for cohesion. If this application were to be approved, in order to ensure the siding reveal would be constructed as presented in this application, staff recommends a condition of approval that the new siding reveal shall be 6 inches.

The Phillips House is significant because it is a rare example of an early building type as stated in the Polk County Historic Inventory. This fact further reinforces the importance of retaining original materials. While it may not be practicable to retain any of the original siding due to dry rot damage, staff finds that altering the siding from a beveled lap wood to cement lap siding does not retain original exterior materials so far as practicable.

The applicant is proposing to replace the existing black composition roof with a new black composition roof. Staff reviewed the National Register and did not find reference to the roofing material. However, according to the Polk County Historic Inventory, the roofing material was composition. Based on a photograph of the Phillips House from 1970, it appears the roof consists of black composition. While it is likely that the original roofing material was wood shake, that is conjecture. Therefore, staff finds that since the Phillips House was still inventoried into the National Register, the Polk County Inventory, and the Statewide Inventory with a composition roof, the applicant's proposal of a new black composition roof is reasonable.

B. Height. Additional stories may be added to historic buildings provided that:

- (1) The additional height complies with requirements of the building and zoning codes;**
- (2) The additional height does not exceed that which was traditional for the style of the building;**
- (3) The additional height does not alter the traditional scale and proportions of the building style; and**
- (4) The additional height is compatible with adjacent historic buildings. [PCZO 183.050(B)(2)(a) through (d)]**

Findings: The applicant is proposing to remove the existing addition and replace it with a new addition. Based on the applicant's statements, the existing addition does not have a foundation and was built directly on the ground. Based on the plans submitted with building permit 687-20-001429-STR, the applicant is proposing to pour a new concrete foundation for both the primary dwelling and the new addition. Due to the state of the Phillips House and the lack of a foundation for the existing addition, the applicant states that it is not feasible to lift the existing addition and pour a new foundation. Based on a discussion with the Polk County Building Official, it is possible to pour a new foundation without lifting a structure. Nevertheless, the Polk County Historic Inventory notes that changes to the dwelling included the alteration of the rear wing and found that this change does not significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style. The Inventory does not identify this change as significant to its historic importance. For this reason, staff finds it reasonable to alter or replace this existing addition with a new addition so long as the new addition does not significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.

The height of the existing foundation under the primary dwelling is unclear and whether the proposed foundation would affect the overall height of the primary dwelling. Based on the plans submitted by the applicant, the visible height of the proposed foundation varies between approximately one foot and approximately two feet. If this application were to be approved, staff recommends as a condition of approval that the new foundation shall not affect the overall height of the Phillips House.

The applicant is proposing a covered balcony with the new addition that would be connected to the master bedroom. On March 29, 2021, the Polk County Building Official sent a letter asking for additional information about drainage and waterproofing for this covered balcony, along with truss engineering and layout for the proposed addition. On September 9, 2021, the applicant stated that they are proposing a scupper to an interior pit on the covered balcony that would drain onto the roof of the new addition. Based on a conversation with the Polk County Building Official, this information has not been provided for review with building permit 687-20-001429-STR. Additionally, the applicant did not provide information about waterproofing or truss engineering and layout. In a letter sent on April 6, 2021, staff informed the applicant that these elements could involve additional alterations that may need to be reviewed through a land use application process because they could constitute additional exterior alterations. For these reasons it is unclear how the Planning Commission could issue a "clearance for permit" if the applicant has not provided a complete set of plans for the Building Official and Planning Staff to review.

Currently, the primary dwelling contains a second story and the existing addition is connected only to the first floor. Thus, the existing addition is not visible from all sides, including, most importantly, from the front view. The applicant is proposing the new addition to connect to the primary dwelling's second story. Based on the applicant's statements, the Phillips House's appearance from the road would remain the same. However, after reviewing the applicant's submitted plans, the landing with stairs and second-story roofline appear to be visible from the front view, because the pitch of the second-story roofline on the new addition is intended to be approximately 3.5 feet higher than the pitch of the existing roofline. The proposed roofline of the new addition would be connected via a cricket ridge structure that is used to transition from one roof to another.

As discussed previously, the Phillips House is significant for its spare and severe lines. With the new addition proposed to connect to the existing roofline via a cricket it would be visible from multiple angles, unlike the current addition, and it would add visual weight and bulk to the rear of the structure resulting in an impact to the integrity of the Phillips House by muting the spare and severe lines, thereby altering the traditional scale and proportions of the building style. The National Parks Service provides guidance regarding additions, stating "New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." As proposed, the addition would further impact the integrity of the Phillips House as the new addition would be visible from more angles than the existing addition and if the addition were to be removed in the

future it would leave the Phillips House impaired due to the second story roof connection via the cricket.

If the new addition were connected only on the first floor like the existing addition, then the rooflines would continue to be disconnected and could leave the spare and severe lines of the Phillips House unadulterated. The significant importance of the Classic Revival style exemplified by the Phillips House is visible in the simple symmetry of the structure and this aspect is enhanced by its original placement and environment at the foot of a hill. If the addition were to be only connected at the first floor and was not perceived as being taller than the primary dwelling, a new rear addition may not significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.

The applicant has not fully demonstrated that the additional height resulting from the proposed addition would comply with the requirements of the building codes. The additional height from the foundation and addition, as it is applied to the primary dwelling does not exceed the height, as a numeric value, which was traditional for Classical Revival style. However, staff finds the height of the proposed addition would not be compatible with the primary dwelling. Further, staff finds that the proposed addition would impact the integrity of the Phillips House by muting the spare and severe lines thereby altering the traditional scale and proportions of the building style. The applicant has not adequately specified how these height changes would comply with the criteria above; therefore staff finds that the application does not demonstrate compliance with this criterion.

C. Bulk. Horizontal additions may be added to historic buildings provided that:

- (1) The bulk of the addition does not exceed that which was traditional for the building style; [PCZO 183.050(B)(3)(a)]**
- (2) The addition maintains the traditional scale and proportion of the building style; and [PCZO 183.050(B)(3)(b)]**
- (3) The addition is visually compatible with adjacent historic buildings. [PCZO 183.050(B)(3)(c)]**

Findings: The proposed new two-story addition would include French doors; a landing with stairs; a covered patio; a covered balcony; and an amended floorplan. The proposed addition would connect to the ridge of the primary dwelling with a cricket.

Staff finds that a proposed addition to the Phillips House to make it more livable for the intended occupants is not unreasonable. Based on the plans submitted with building permit 687-20-001429-STR, the existing footprint of the existing addition is approximately 889 square feet and the footprint of the proposed two-story rear addition is approximately 1,469 square feet (including the covered patio and the deck with stairs), which would be an increase to the footprint by approximately 580 square feet.

The proposed French doors are discussed in greater detail in subsection F below. The applicant is proposing replica columns on the covered patio that are intended to match the columns on the front porch, which is discussed in greater detail in subsection D below.

The Phillips House has an “L” shaped layout with the kitchen and dining room being located in the existing addition. According to *“Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek Revival Architecture,”* the “L” shaped floorplan was common for Classical Revival dwellings, with the kitchen and dining rooms located in the rear wing of the “L.”⁴ Staff reviewed the National Register and the Polk County Historic Inventory which only reference the floorplan of the Phillips House when referring to alterations. Specifically, the Polk County Historic Inventory states “Alterations include the partial enclosure of the front porch, a change which occurred during the occupation of the Phillips family. Other changes involve the alteration of the

⁴ McPherson, Beth Ann Spirysen, "Fort Hill: A Representative of the Structural and Social Hierarchy and Harmony of Greek Revival Architecture" (1996). Dissertations, Theses, and Masters Projects. Paper 1539626022. Pages 59-60.

rear wing. Neither alteration significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.” Staff finds that the existing addition functions as the rear wing of a typical “L” shaped floorplan. Based on the plans submitted with building permit 687-20-001429-STR, the applicant is not proposing to retain the “L” shaped floorplan, however the kitchen and dining room would be located in the new addition. The proposed revised floorplan would be more rectangular in shape.

As discussed previously, the Phillips House is significant for its spare and severe lines. With the new addition proposed to connect to the existing roofline via a cricket it would be visible from multiple angles, unlike the current addition, and it would add visual weight and bulk to the rear of the structure resulting in an impact to the integrity of the Phillips House by muting the spare and severe lines, thereby altering the traditional scale and proportions of the building style. The National Parks Service provides guidance regarding additions, stating “New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.” As proposed, the addition would further impact the integrity of the Phillips House as the new addition would be visible from more angles than the existing addition and if the addition were to be removed in the future it would leave the Phillips House impaired due to the second story roof connection via the cricket.

If the new addition were connected only on the first floor like the existing addition, then the rooflines would continue to be disconnected and could leave the spare and severe lines of the Phillips House unadulterated. The significant importance of the Classic Revival style exemplified by the Phillips House is visible in the simple symmetry of the structure and this aspect is enhanced by its original placement and environment at the foot of a hill. If the addition were to be only connected at the first floor it is possible that a new rear addition, even a two-story addition, may not significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.

However, staff finds that the bulk of the addition significantly alters the traditional style of the primary dwelling. Further, staff finds that the proposed addition would impact the integrity of the Phillips House by muting the spare and severe lines, thereby altering the traditional scale and proportions of the building style. The applicant has not adequately specified how the bulk of the addition would comply with the criteria above; therefore staff finds that the application does not demonstrate compliance with this criterion.

D. Visual Integrity of Structure. The lines of columns, piers, spandrels and other primary structural elements shall be maintained so far as practicable. [PCZO 183.050(B)(4)]

Findings: The applicant states that they intend to reuse details that can be salvaged and have replica’s made for components that could not be saved, such as the columns, window trims and sashes, and other detailed moldings. Specifically for the columns, the applicant states that they intend to retain the existing columns on the front porch as much as possible. To ensure these columns retain their historical significance, staff recommends that the applicant shall ensure any replica components be made of the same material as the original and shall also maintain the same dimensions and details as the original.

The applicant states that they intend to remove the two enclosed ends of the front porch, in order to restore the front porch to its original state. The National Register and the Polk County Historic Inventory recognizes that the end bays of the front porch were enclosed to create additional bedrooms, sometime after the dwelling was built. However, the National Register continues to state that this design (“sabblebag” plan) was not unknown in early Oregon. The Polk County Historic Inventory states that the partial enclosure of the front porch does not significantly detract from the importance of the Phillips House as a rare example of an early building type nor as an example of the Classical Revival style. Additionally, the National Register states that it was known that Mr. Phillips kept enlarging the dwelling to accommodate his growing family and that the dwelling has

not been significantly altered since John Phillips' death in 1892, based on a photograph of the Phillips House from approximately 1890.⁵

A main component of Classical Revival architecture is symmetry. Therefore, staff finds that while the Phillips House was inventoried on the Polk County Historic Inventory, the Statewide Inventory, and the National Register with the front porch as it exists today with the two enclosed ends, the applicant's proposal would be consistent with the traditional character of the Phillips House because it would retain the symmetrical, and original, appearance.

The applicant is also proposing columns on the covered patio and the covered balcony for the new addition. The spacing between each of the existing columns on the front porch of the Phillips House is approximately 8 feet. The spacing for the proposed columns on the addition's covered patio are approximately 6.5 feet, 16 feet, and 7 feet. The spacing for the proposed columns on the addition's covered balcony is approximately 16 feet. These measurements were scaled based on the plans the applicant submitted. The applicant has not provided an explanation for the alteration of the historic column spacing. As discussed previously, a main component of Classical Revival architecture is symmetry. Staff reasons that the change in the spacing of the proposed columns to be used on the addition could be reasonable if the column spacing was symmetrical in order to maintain an even and symmetrical appearance. This approach would differentiate the historic columns from the new columns, which the National Parks service guidance recommends.

“New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”

However, the applicant has not addressed how the proposed columns on the new addition are compatible to the historic columns and would maintain the visual integrity of the Phillips House, therefore, staff finds that the application does not comply with this criteria.

As discussed previously, the applicant is proposing to replace the existing foundation for both the primary dwelling and the existing addition, which, based on the applicant's statements, consist of piles of brick, wood, and timber rounds. Based on photographs the applicant submitted with this application, the state of the existing foundation appears to be deteriorated with some of the piles of brick scattered. It is reasonable that a new concrete foundation would help preserve the Phillips House, because a damaged or deteriorating foundation can affect the stability of a structure, such as cracks in the walls, crooked doors and windows, or uneven flooring. In addition, the applicant is proposing a concrete foundation for the new addition. Based on the applicant's statements, the existing addition does not currently have a foundation.

Staff finds that the applicant's proposal to replace the existing foundation with a new poured foundation to be reasonable because it would preserve the structural integrity of the Phillips House. However, in order to reduce the visual impact from the proposed foundation if this application were to be approved, staff recommends a condition of approval that the applicant maintain ground landscaping to obscure the appearance of a new modern foundation.

The applicant is proposing to replace the existing black composition roof with a new black composition roof. Staff reviewed the National Register and did not find reference to the roofing material. However, according to the Polk County Historic Inventory, the roofing material was composition. Based on a photograph of the Phillips House from 1970, it appears the roof consists of black composition. While it is likely that the original roofing material was wood shake, that is conjecture. Therefore, staff finds that since the Phillips House was still inventoried into the National Register, the Polk County Inventory, and the Statewide Inventory with a composition roof, the applicant's proposal of a new black composition roof is reasonable.

⁵ Polk County Staff was unable to locate the 1890 photograph that is referenced in the National Register for the Phillips House.

In addition, the applicant is proposing black composition roofing for the proposed addition. While the criteria requires additions to use visually compatible materials so far as practicable, since the roof for the rest of the Phillips House would be black composition, staff finds that matching roof material would be compatible.

The placement, size, and orientation of windows impact a dwelling's visual character. Windows depict the architectural style of a dwelling and the historical relevance. For example, Tudor windows, stain-glass windows, and colonial windows, each have a distinct design that characterize that style of architecture. The windows used in the Phillips House are discussed in the National Register which states:

"...Double hung sashes on the front side now contain a single pane of glass. Those on the south end contain four lights over four on both floors, though the upper windows are somewhat lesser in height than those on the ground floor. Windows on the ground floor at the north end contain six lights over six, and are larger in all dimensions than those on the second floor. There are two windows symmetrically placed on either side of the door on the front and four formally placed windows on the gable ends, one on either side of the fireplace on both floors. The front door has sidelights and a transom window also set in a simply yet beautifully detailed architrave with a pedimented cornice."

Staff finds that since the National Register details the windows, specifically the pane orientation, the windows are a significant feature that contribute to the Phillips House importance.

The applicant is proposing to replace all the existing fenestrations on the Phillips House because a majority of the existing window panes are broken or cracked. The applicant intends to reuse details that can be salvaged and have replica's made for components that could not be saved for the window trim and sashes. Additionally, the applicant is proposing to retain the pedimented window heads located on the front porch, along with the Federalist entry. However, the applicant asserts that vinyl fenestrations would best replicate the existing wood fenestrations from a visual standpoint. The applicant has not expanded on how vinyl fenestrations would be harmonious and compatible with the appearance and character of the Phillips House, nor how it would comply with the legal requirement that original materials be retained so far as practicable. Staff finds that vinyl windows rarely match the visual characteristics of wood windows and the applicant has not provided details demonstrating how the visual characteristics of the Phillips House windows would be retained. Based on photographs of the Phillips House provided by the applicant, the existing windows have wood mullions between each pane that provide texture and dimensionality. According to the materials list provided by the applicant, the proposed vinyl windows would have vinyl grids inside a large window pane instead of exterior mullions.

As mentioned above, the National Park Service provides guidance for reviewing additions for historic properties and states that new work should be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. And, that new additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. This guidance leads staff to believe that if vinyl windows with matching details were to be located on just the new addition, it could be possible to conclude that this feature would differentiate the historic dwelling from the new addition and if the addition were removed in the future, the essential integrity of the historically significant windows in the historic landmark would be unimpaired.

The dimensions of the existing panes for each window and the dimensions of the proposed panes for each window are unclear. Therefore, staff was unable to review if the applicants would maintain the visual integrity of the Phillips House in relation to the window pane dimensions. However, staff reviewed the existing window pane orientation and the proposed window pane orientation. The following figures used to demonstrate the proposed windows were taken from the plans submitted with building permit 687-20-001429-STR. When the images were digitally inserted into this staff report the quality deteriorated. For better visual reference, please refer to the original plans submitted with building permit 687-20-001429-STR.

Based on the photographs and plans provided by the applicant, the existing windows on the east side of the dwelling (front) are composed of a single large pane of glass and would remain a single large pane of glass. However, the National Register suggests that this was not original but existed at the time the property was included in the Register.



Figure 1: Existing windows on the front of the Phillips House.

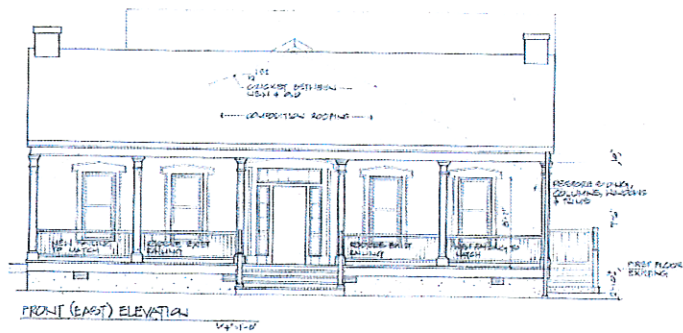


Figure 2: Proposed windows for the front of the Phillips House.

The existing windows on the north and south sides of the primary dwelling (not including the rear addition) have six lights over six (see Figure 3). Based on the plans provided, the proposed windows on the north and south sides of the primary dwelling would have four light over four (see Figure 4).



Figure 3: Existing window type on the north and south sides.

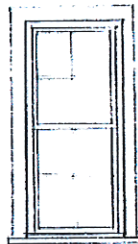


Figure 4: Proposed window type for the north and south sides.

Based on photographs provided by the applicant, staff understands that the existing windows on the rear of the single-story addition have four lights over four (see Figures 5 and 6). Based on the plans submitted, the proposed windows on the rear two-story addition, the pane orientation would vary between three lights over three and the other windows associated with the French doors don't appear to be double hung and contain both fourteen and eight lights on a single pane. (see Figure 7).

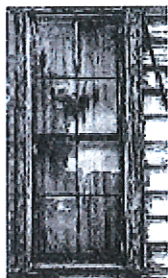


Figure 5: Existing windows on the west side of the existing addition.



Figure 6: Existing windows on the west side of the existing addition.

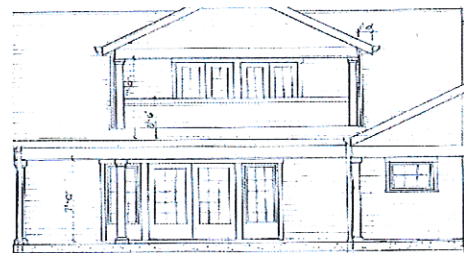


Figure 7: Proposed windows for the south side of the new addition.

Based on photographs provided by the applicant, the window pane orientation on the north side of the existing addition is unclear (see Figure 8). Based on the plans submitted by the applicant, the proposed pane orientation of the north side of the new addition would vary between single panes and two lights over two (see Figure 9).



Figure 8: Existing windows on the north side of the existing addition

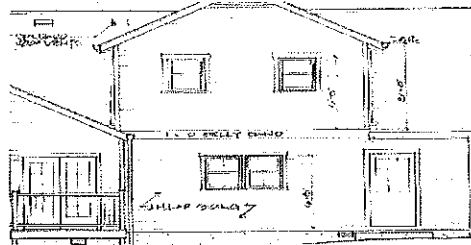


Figure 9: Proposed windows for the north side of the new addition

Based on the photographs provided by the applicant, it is unclear what the window pane orientation is for the south side of the existing addition (see Figure 10). Based on the plans submitted by the applicant, the proposed window pane orientation of the south side of the rear addition would be three lights over three and four lights over four (see Figure 11). The remainder of the opening on this side of the addition would be French doors, which is discussed in greater detail in subsection F below.

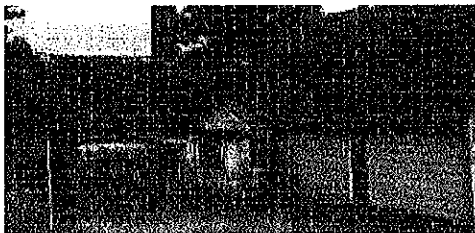


Figure 10: Existing windows on the south side of the existing addition.

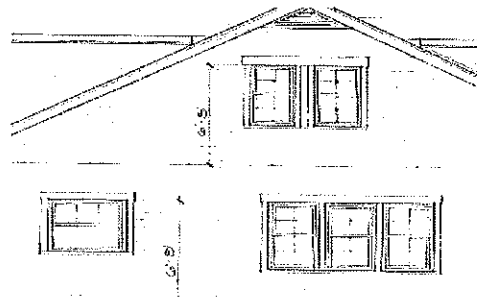


Figure 11: Proposed windows on the south side of the proposed addition.

According to the Polk County Historic Inventory, the Phillips House is historically significant because it is a rare example of an early building type. This fact further reinforces the importance of retaining original materials. Staff does not find that the vinyl windows as proposed would retain original materials on the primary dwelling so far as practicable. Further, the proposed grids inside the vinyl window panes do not compare to the details presented by existing wood mullions because the shadow lines and dimensionality would be altered. The windows on the south side of the primary dwelling (front) are single pane and thus do not have wood mullions. A vinyl window that could replicate the elements of the existing wood window, such as the shadow lines, dimensionality, and paint specifically formulated for vinyl could potentially demonstrate compliance with the criteria. However, the applicant has not demonstrated how the vinyl windows proposed would retain original materials and details so far as practicable. Therefore, staff finds that the application does not comply with this criterion.

Staff finds that since the National Register details the windows, specifically the pane orientation, it results in being a significant feature that contributes to the Phillips House's importance. Based on the existing window pane orientation and the proposed window pane orientation, the proposed alteration to the existing wood windows would not maintain the visual integrity of the Phillips House. Therefore, staff finds that the application does not comply with this criterion.

Finally, as discussed previously, the Phillips House is significant for its spare and severe lines. With the new addition proposed to connect to the existing roofline via a cricket it would be visible from

multiple angles, unlike the current addition, and it would add visual weight and bulk to the rear of the structure resulting in an impact to the integrity of the Phillips House by muting the spare and severe lines thereby altering the traditional scale and proportions of the building style. Therefore, staff finds that the application does not comply with this criterion.

E. Scale and Proportion. The scale and proportion of altered or added building elements, the relationship of voids to solids (windows to wall) shall be visually compatible to the extent possible with the traditional architectural character of the historic building. [PCZO 183.050(B)(5)]

Findings: Based on the plans submitted with building permit 687-20-001429-STR, the proposed scale and proportion, the relationship of voids to solids (windows to walls), of the proposed addition is not compatible with the existing scale and proportion of the Phillips House. Staff has broken down the existing and proposed scale and proportion for each side of the Phillips House and has provided photographs from the plans and photographs of the existing structure submitted by the applicant.

For the following, staff's references to void space means the fenestrations (windows and doors) and staff's references to solid space means the walls. Additionally, the following ratios are based on the total square feet of fenestration space to the total square feet of solid space of a particular side of the Phillips House. In addition, staff evaluated symmetry by evaluating the spacing of fenestrations in relation to the total linear footage of a particular side of the Phillips House or from the centering ridge line on a gable end. The spacing distances were rounded to the first significant digit. These measurements were scaled based on the plans the applicant submitted. This evaluation was done only for the primary dwelling and the proposed addition. Staff did not evaluate the existing addition as it is proposed to be removed.

FRONT

The east facing side (front porch) has approximately 175.5 square feet of fenestrations and 454.7 square feet of solid space (see Figure 12). The proposed east facing side (front porch) has approximately 175.5 square feet of fenestrations and 454.7 square feet of solid space (see Figure 13).

The existing east facing side (front porch) of the Phillips House has a centered Federalist entry with two windows on either side that are spaced approximately 3 feet and 3 inches apart to provide a symmetrical appearance. The proposed east facing side (front porch) of the Phillips House would continue to have a Federalist entry with two windows on either side that vary in spacing between approximately 4 feet to 3 feet but would retain the symmetrical appearance.

Staff finds that based on the plans provided by the applicant, the symmetrical appearance of the east facing side (front porch) of the Phillips House would be retained. Additionally, based on staff calculation of square footage for fenestrations and solid space, the void space to solid space of the east facing side would substantially remain the same and would be visually compatible with the traditional architectural character of the historic building to the extent possible. Therefore, staff finds the east facing side complies with this criterion.

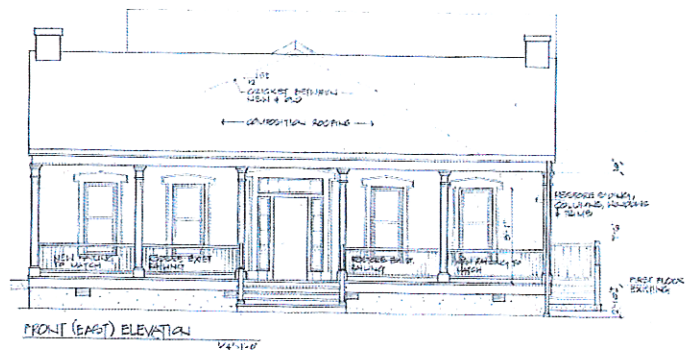


Figure 12: Existing east facing side (front porch) of the primary dwelling.

Figure 13: Proposed windows on the east facing side (front porch) of the primary dwelling.

SIDES

North Side of Historic Primary Dwelling:

The north side of the primary dwelling has approximately 70.7 square feet of fenestrations and approximately 329.1 square feet of solid space (see Figure 14). The north side of the primary dwelling contains approximately 21.5% of its total area as fenestrations.

The upper windows on the north side are approximately 11.7 square feet in size (approximately 2 feet 11 inches in width and 3 feet and 10 feet in length). The lower windows are approximately 23.3 square feet in size (approximately 3 feet 4 inches in width and approximately 6 feet 3 inches in length). The upper windows are approximately half the size of the lower windows.

The two upper windows are located approximately 2 feet 8 inches from the center of the ridge line on both sides. The two lower windows on the north facing side are located approximate 3 feet 3 inches from center of the ridge line on both sides.

North Side of Proposed Addition:

The north facing side of the proposed addition has approximately 113.5 square feet of fenestrations and approximately 468.2 square feet of solid space. (see Figure 15). The north side of the proposed addition would contain approximately 24.2% of its total area as fenestrations.

The lower windows are 10.5 square feet in size each (approximately 3 feet in width and 3 feet 6 inches in length). The upper windows are approximately 11.9 square feet in size (approximately 3 feet 1 inch in width and approximately 3 feet 7 inches in length). The upper and lower windows on the north side of the proposed addition are approximately the same size.

The two upper windows on the new addition's north facing side are located approximately 2 feet 2 inches from the center of ridge line on both sides. The two lower windows are centered on the ridge line.

The French doors are located approximately 9 feet 8 inches from the center of the ridge line to the left and the single-man door is located approximately 8 feet 1 inch from the center of the ridge line to the right.

The total area of fenestrations on the proposed addition amounts to a modest increase of approximately 2.7% from that found on the primary residence. The upper windows and individual lower windows appear to be equal in size. The proposed window placement on the new addition would be similar and symmetrical on the upper story, but the centered windows on the lower story would not be consistent with the traditional placement and proportions found on the historic primary dwelling. The scale and proportion of the north facing side of the proposed addition would not be visually compatible with the traditional architectural character of the historic building. In addition, the proposed doors on the addition would not be spaced from the center of the ridge symmetrically. This difference could be forgiven as the French doors are centered in their space. However, the single-man door located to the right, is not centered in its space and is not symmetrical with other fenestrations.

Staff finds that since the centered windows on the lower story and the single-man door would not be consistent with the traditional placement and proportions found on the historic primary dwelling, the application does not demonstrate that the north side of the proposed addition would not be visually compatible to the extent possible with the Phillips House.



Figure 14: Existing north facing side of the Phillips House.

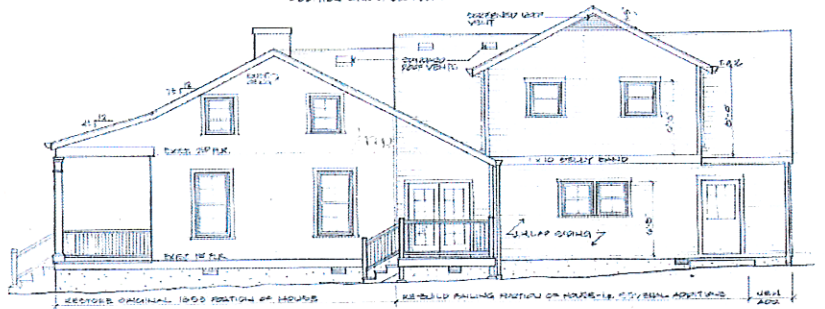


Figure 15: Proposed north facing side of the new addition.

South Side of Historic Primary Dwelling:

The south facing side of the primary dwelling has approximately 71.5 square feet of fenestrations and approximately 335.1 square feet of solid space (see Figure 16). The south side of the primary dwelling contains approximately 21.3% of its total area as fenestrations.

South Side of Proposed Addition:

The south facing side of the proposed addition has approximately 135.3 square feet of fenestrations and approximately 293.45 square feet of solid space (see Figure 17). The south side of the proposed addition would contain approximately 46.1% of its total area as fenestrations.

The placement of fenestrations on the south side of the proposed addition would not be symmetrical. The French doors on the covered balcony would be centered on the ridge line; however, the French doors on the covered patio below would not be centered on the ridge line. Additionally, there is only one proposed window on the right side of the new addition that is not balanced with a window on the left side and is smaller than the windows used on the second story rather than larger (see Figure 17).

Staff finds that based on the plans submitted by the applicant the total area of fenestrations on the proposed south side of the addition would be approximately 24.8% greater than that found on the south side of the historic primary dwelling. This is a substantial increase that is not compatible with the traditional architectural character of the historic primary dwelling. Additionally, the south side of the proposed addition would not retain the symmetrical characteristic of the Classical Revival style because the proposed fenestrations on the lower floor do not mirror one another with the French door not being centered and only one window being proposed (see Figure 17). Therefore, staff finds that the proposed addition would not be visually compatible to the extent possible with the traditional architectural character of the Phillips House.



Figure 16: Existing south facing side of the Phillips House.



Figure 17: Proposed south facing side of the new addition.

REAR

Historic Primary Dwelling:

The existing square footage of fenestrations for the rear (west facing side) of the primary dwelling is unknown because it was replaced with the existing addition. However, based on the photograph provided by the applicant of the rear (west facing side) of the addition, the fenestrations appear to mimic the fenestration placement and proportions of the north and south sides of the primary dwelling of a gabled side with two smaller windows above to larger windows.

Proposed Addition:

The rear (west facing side) of the proposed addition has approximately 150.3 square feet of fenestrations and approximately 385.1 square feet of solid space (see Figure 19).

The two upper windows on the rear of the proposed addition are approximately 15.1 square feet in size each (approximately 3 feet 1 inches in width and 4 feet 9 inches in length). The bank of three lower windows are approximately 16.8 square feet in size each (3 feet 1 inches in width and 5 feet 2 inches in length). The single lower window is 20.5 square feet in size (4 feet 9 inches in width and 4 feet 1 inch in length). The two upper windows and bank of three windows are similar in size.

The upper windows would be centered along the ridge line which is not consistent with how the primary dwelling is proportioned. A bank of three lower windows would be located below the upper windows but would not be centered with the ridge line. The windows used in this bank appear to be equally sized with the windows used in the upper story instead of larger. A single lower window is located approximately 8 feet 7 inches from the center of the ridge line to the left. This window is shorter and longer than the other windows. Lastly, French doors are proposed to be located approximately 10 feet 4 inches from the center of the ridge line to the right (see Figure 19). These fenestration locations would not result in a symmetrical appearance for the rear of the proposed addition.

The rear of the dwelling is not visible from the public right of way. Nevertheless, staff finds that the scale and proportion of the west facing side would not be visually compatible with the traditional architecture used on the historic landmark because the proposed upper window proportions do not match how the primary dwelling's windows are proportioned. Additionally, the proposed fenestration locations would not result in a symmetrical appearance with the lower four windows broken out into a bank of three windows and one single window. The rear of the proposed addition would not retain the characteristic of the Classical Revival style because the proposed fenestration locations are not symmetrical and they do not match the historic proportions (see Figure 19). Therefore, staff finds that the proposed addition would not be visually compatible to the extent possible with the traditional architectural character of the Phillips House.



Figure 18: Existing west facing side of the Phillips House.

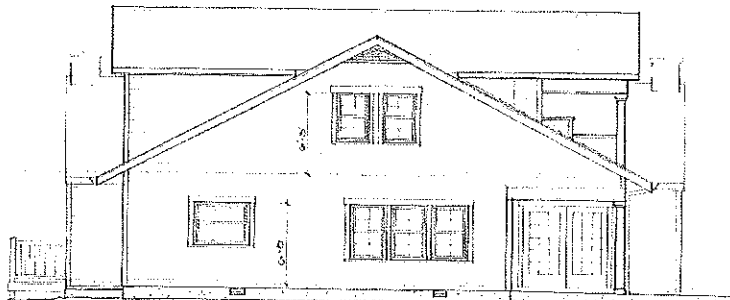


Figure 19: Proposed west facing side of the new addition.

Another component of the proposed addition are the two different gable roofs. As depicted on Figure 19, the proposed addition would have two gable roofs with one gable oriented in an east to west direction and another gable oriented in a north to south direction. This would result in each side of the proposed addition presenting a gable end, which is not currently the case for the primary

dwelling or the existing addition. Based on photographs of the Phillips House, the primary dwelling has a gable roof oriented north to south with a single story addition that adds a gable side to the rear oriented in an east to west direction. The north to south roofline on the proposed addition appears to accommodate the covered balcony and additional interior space on the second floor, while the east to west roofline appears to accommodate the first floor of the proposed addition.

While more elaborate Classic Revival can incorporate gabled porches for instance, according to the National Register Inventory, the Phillips House is somewhat untypical in that it tends to be somewhat more spare or severe in line than most of these Classical cottages which spring up around the Willamette Valley, and these houses as a whole tend to be somewhat more spare than their contemporary counterparts in the East. The Inventory found, on the other hand, though proportions are rather timid, detail of the columns and architraves is more meticulous than is usual in these Willamette Valley houses. With the new addition proposed to connect to the existing historic roofline via a cricket, the two different roof lines proposed in this application affect the Phillips House spare and severe lines by adding additional visual components and visual complexity to the historic primary dwelling. Therefore, staff finds that the addition as proposed would not be visually compatible with the traditional architectural character of the Phillips House to the extent possible and would impact the integrity of the Phillips House by muting the spare and severe lines thereby altering the traditional scale and proportions of the historic building. Therefore, staff finds the application does not comply with this criterion.

The National Parks Service provides guidance regarding additions, stating “New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.” As proposed the addition would further impact the integrity of the Phillips House as the new addition would be visible from more angles than the existing addition and if the addition were to be removed in the future it would leave the Phillips House impaired due to the second story roof connection via the cricket.

If the new addition were connected only on the first floor like the existing addition, then the rooflines would continue to be disconnected and could leave the spare and severe lines of the Phillips House unadulterated. The significant importance of the Classic Revival style exemplified by the Phillips House is visible in the simple symmetry of the structure. If the addition were to be only connected at the first floor and was not perceived as being taller than the primary dwelling, a new rear addition may not significantly detract from the importance of the historic building as a rare example of an early building type nor as an example of the Classical Revival style.

Since the applicant has not demonstrated how the scale and proportion would be maintained or provide an argument for how the proposed placement of fenestrations would be compatible with the Classical Revival style, staff finds that the application does not comply with this criterion.

F. Materials and Texture. The materials and textures used in the alteration of addition shall be visually compatible to the extent possible with the traditional architectural character of the historic building. [PCZO 183.050(B)(6)]

Findings: As discussed earlier, the applicant is proposing to replace the existing black composition roof with a new black composition roof. Staff reviewed the National Register and did not find reference to the roofing material. However, according to the Polk County Historic Inventory, the roofing material was composition. Based on a photograph of the Phillips House from 1970, it appears the roof consists of black composition. While it is likely that the original roofing material was wood shake, that is conjecture. Therefore, staff finds that since the Phillips House was still inventoried into the National Register, the Polk County Inventory, and the Statewide Inventory with a composition roof, the applicant’s proposal of a new black composition roof is reasonable.

As discussed previously, the applicant is proposing to use vinyl fenestrations. The applicant has not provided details demonstrating how the visual characteristics of the Phillips House windows would be retained. Based on photographs of the Phillips House provided by the applicant, the existing windows have wood mullions between each light that provide texture and dimensionality. According to the materials list provided by the applicant, the proposed vinyl windows would have

vinyl grids inside a large window pane instead of exterior mullions. Staff found previously that the vinyl windows as proposed would not retain original materials on the primary dwelling so far as practicable. Further, the proposed grids inside the vinyl window panes do not compare to the details presented by existing wood mullions because the shadow lines and dimensionality would be altered. A vinyl window that could replicate the elements of the existing wood window, such as the shadow lines, dimensionality, and paint specifically formulated for vinyl could potentially demonstrate compliance with the criteria.

The applicant is also proposing to install vinyl French doors on the proposed new addition. Based on the applicant's statements, photographs, and plans submitted with this application, the existing addition currently contains three single wood man doors. Based on the photographs provided by the applicant, the existing man doors appear to be plain wood doors without shadow lines provided by features on the door, just by the trim. The material list provided by the applicant does not describe if the proposed French doors would have the grid pattern that matches the proposed vinyl windows or if the French doors would have mullions to provide texture to match the existing wood windows. As discussed previously, the Phillips House is significant due to its Classical Revival architectural characteristics. However, the applicant did not provide any evidence that French doors are a common element to the Classical Revival architecture or their use would be compatible with the architectural character of the historic building. Staff finds that there are other alternatives, such as a man door with opening side lights, which could more closely match the front door but were not considered.

As discussed previously, the applicant is also proposing to replace wood siding with Hardie Lap Clear Wood Siding, which is a cement siding, for both the primary dwelling and the proposed addition. It is staff's understanding that the proposed Hardie Lap cement siding is not beveled like the existing wood siding and the applicant has not demonstrated how this proposed siding would maintain the historic texture of the Phillips House. The applicant states that their reason for choosing this type of siding is because wood siding is currently unavailable. This statement is not factual. Beveled wood cedar lap siding in clear and finger jointed are readily available. Staff concluded previously that the cement siding as proposed would not retain original materials on the primary dwelling so far as practicable.

The applicant states that the existing reveal for the siding is not cohesive throughout the Phillips House. The siding fluctuates between a 6 inch reveal, a 5.5 inch reveal, and a 7 inch reveal. The applicant is proposing a cohesive reveal for the proposed siding of 6 inches. Staff finds that a slight alteration to the length of reveal in the siding in order to obtain a single cohesive reveal is reasonable because the proposed change in reveal would not change the type or style of siding and a 6 inch reveal would split the difference between the existing reveals for cohesion. If this application were to be approved, in order to ensure the siding reveal would be constructed as presented in this application, staff recommends a condition of approval that the new siding reveal shall be 6 inches.

It is unclear to staff whether or not cement siding and vinyl fenestrations, when used only on the proposed addition, could be made visually indistinguishable from their wood counterparts and thereby compatible with the traditional architectural character of the historic building. The National Parks service guidance recommends that "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment." With this in mind, staff finds that a new addition could use modern building materials like cement siding and vinyl windows, if they are compatible with the historic materials. Additionally, the use of these materials would further differentiate the new work from the historic if traditional and significant historic materials like wood siding and wood windows were used on the historic primary dwelling. Unfortunately, staff previously found that the proposed addition is not compatible with the historic Phillips House and, as designed, would significantly detract from the importance of the Phillips House as a rare example of an early building type and as an example of the Classical Revival style. Therefore, staff finds that this application does not demonstrate compliance with this criterion.

G. Signs, Lighting and Other Appurtenances. Signs, exterior lighting, and other appurtenances, such as walls, fences, awnings and landscaping shall be visually compatible with the traditional architectural character of the historic building.
[PCZO 183.050(B)(7)]

Findings: Initially, the applicant stated that the Phillips House currently has minimal exterior lighting. The updated narrative provided on September 9, 2021, states that the Phillips House currently does not have any exterior lighting. The applicant is proposing recessed can lighting on the ceiling of the porches (staff assumes the applicant means the existing porch, the covered patio, and the covered balcony), along with farmhouse sconces (staff assumes the farmhouse sconces to be located on exit doorways). Staff reviewed the plans submitted with building permit 687-20-001429-STR and did not find a depiction of the proposed exterior lighting. Therefore, it is unclear where the proposed lighting would actually be installed. In addition, the applicant has stated that the actual lighting installed would be subject to availability in regards to the farmhouse sconces. Staff finds that it is reasonable to permit exterior lighting in order to reduce safety hazards. According to the 2019 Oregon Residential Specialty Code, exterior lighting is required for exit doorways.

Staff finds that compared to other types of lighting, recessed can lighting is discrete because they are installed in ceilings and do not protrude and would, therefore, be visually compatible with the traditional architectural character of the historic building. It is unclear how the proposed farmhouse sconces would be visually compatible with the traditional architectural character of the historic building. The applicant states that since there was no electricity at the time the Phillips House was constructed, installing historically accurate lighting would be difficult. Staff acknowledges the difficulty of installing historically accurate lighting. The applicant provided an image of the proposed sconces, which appear to be metal in material and black in color. However, the applicant has stated that the actual lighting to be installed would be subject to availability. In addition, the proposed location of where these sconces would be installed has not been provided. Lacking this evidence, it is impossible to conclude that the proposed farmhouse sconces are visually compatible with the traditional architectural character of the Phillips House. If the Planning Commission approves this application, staff would recommend a condition of approval that the applicant shall substantially conform to the proposed exterior alterations, including design, construction methods, and materials, *as submitted and approved in this application*. Since the applicant has not indicated a specific lighting style or installation locations for staff to evaluate, staff is unclear how such a condition could be recommended and met by the applicant. Therefore, staff finds that the application does not demonstrate compliance with this criterion.

IV. CONCLUSIONS

Based on the Review and Decision Criteria above, the application does not comply with the standards for exterior alteration of an historic building identified in the Polk County Comprehensive Plan Inventory of Historic Sites.

The purpose and intent of the Polk County Comprehensive Plan Inventory of Historic Sites implementing criteria is to promote the historic, educational, cultural, economic and general welfare of the public through the preservation, restoration and protection of buildings, structures and appurtenances, sites, places and elements of historic and archaeological value and interest within Polk County. The John Phillips house is one of the diminishing number of structures dating from Oregon's pioneer and territorial days. Therefore, its preservation and protection is of important value and interest within Polk County and Oregon.

Being listed as a local landmark imposes limitations on exterior alterations and additions. However, it also provides opportunities not otherwise afforded to property owners within the EFU zone. A dwelling listed on the Polk County Historic Inventory and on the National Register of Historic Places which has been partitioned from the farm tract as provided by ORS 215.263(9)(b), may be replaced on a portion of the farm tract resulting in two lawful dwellings on separate parcels. This provides an opportunity for the owner of a historic landmark to partition the landmark and build their dream house on another portion of their property without the limitations imposed on historic landmarks. These

opportunities are intended to provide additional flexibility and incentive to preserve, protect and restore these important landmarks.

The current condition of the Phillips House has deteriorated since its inclusion in the Polk County Historic Inventory and the National Register. In order to maintain the cultural and historic value that the Phillips House provides to Polk County and balance the needs of the intended occupants, some alterations and tradeoffs may be required. This certainly outweighs the cultural and historic loss from losing a significant landmark to abandonment, disrepair and neglect. However, alterations must allow the landmark to retain its historic integrity, or it could simply become a modern building designed to imitate some historic elements.

Potentially some of the proposed alterations by themselves would maintain the historic and architectural character of the Phillips House. However, staff finds that the proposed alterations in their entirety would adversely affect the historic buildings architectural significance and the integrity of its historical appearance. Staff believes that with some design and material changes, a new addition and renovation of the historic primary dwelling could comply with the applicable criteria. This would serve two purposes, allowing preservation and restoration of the historic landmark, and beneficial occupancy. Generally, the primary deficiencies staff found with the proposal are related to the altered roof line of the historic building and the choice of materials used on the historic building. An addition that would leave the spare and severe lines of the Phillips House unadulterated could meet the criteria even if it uses modern materials, so long as the renovations to the historic building utilized original exterior materials.

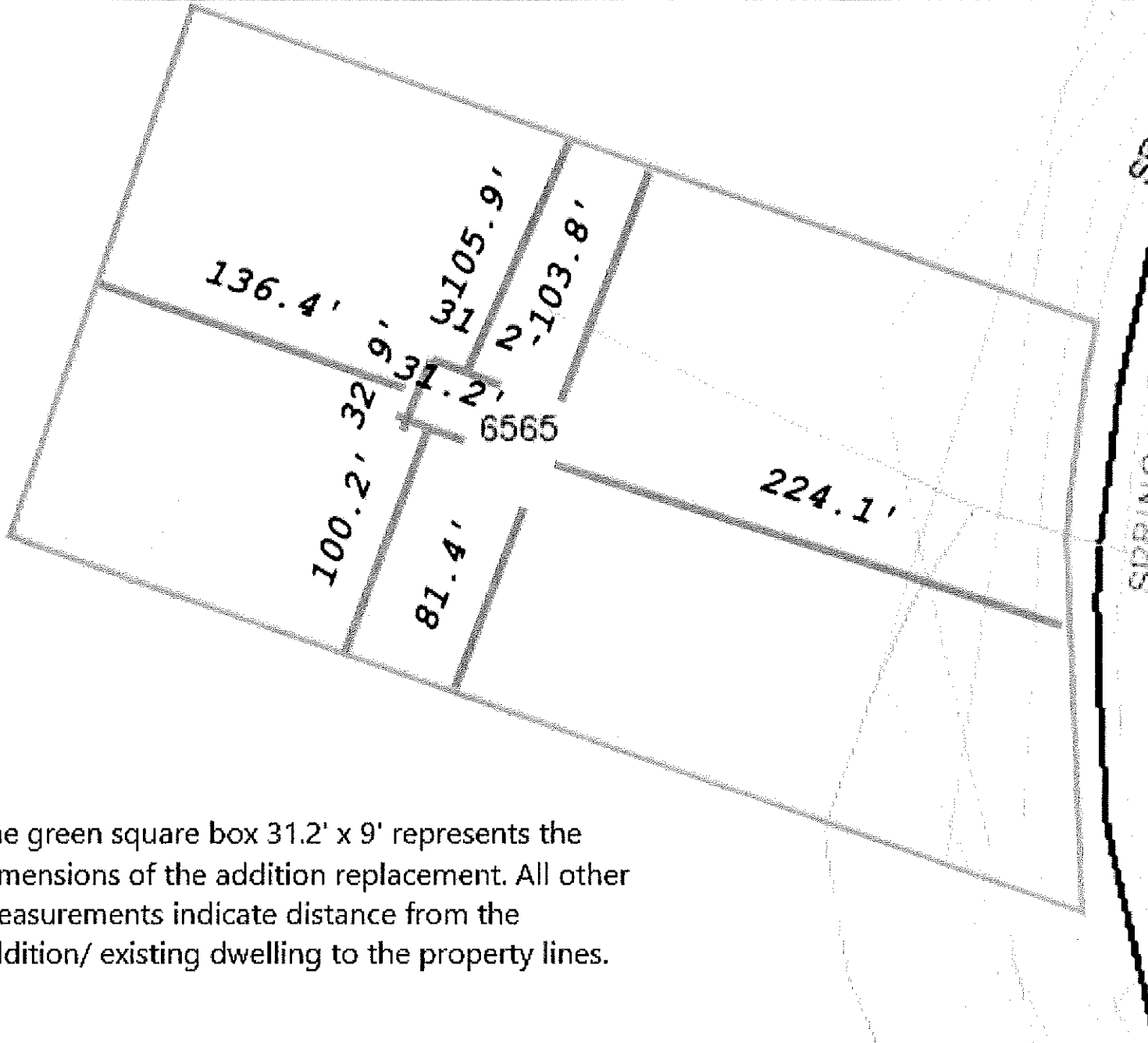
The applicant has alluded to the difficulty of maintaining some of the historic elements of the Phillips House. Staff contacted Oregon State Historic Preservation Office (SHPO) for information about programs that help owners of historic properties. SHPO direct staff towards tax incentives that the property may be eligible, along with the Preserving Oregon Grant which is available to private property owners. In addition, resources are available through non-profit organizations such as Restore Oregon. Staff recommends that if the property owners have any questions about the programs available to contact the Oregon SHPO.

V. RECOMMENDATIONS

Based on the evidence submitted, staff recommends the Planning Commission **deny** the proposed exterior alterations to the Phillips House unless the applicant can provide alternative evidence at, or prior to, the public hearing for the Planning Commission to consider. Appeals to the Land Use Board of Appeals (LUBA) may only be based on Review and Decision Criteria contained in Section III, above.

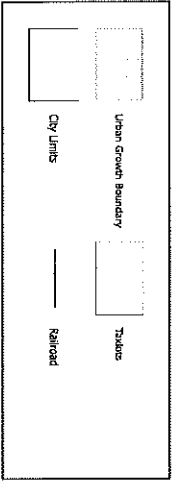
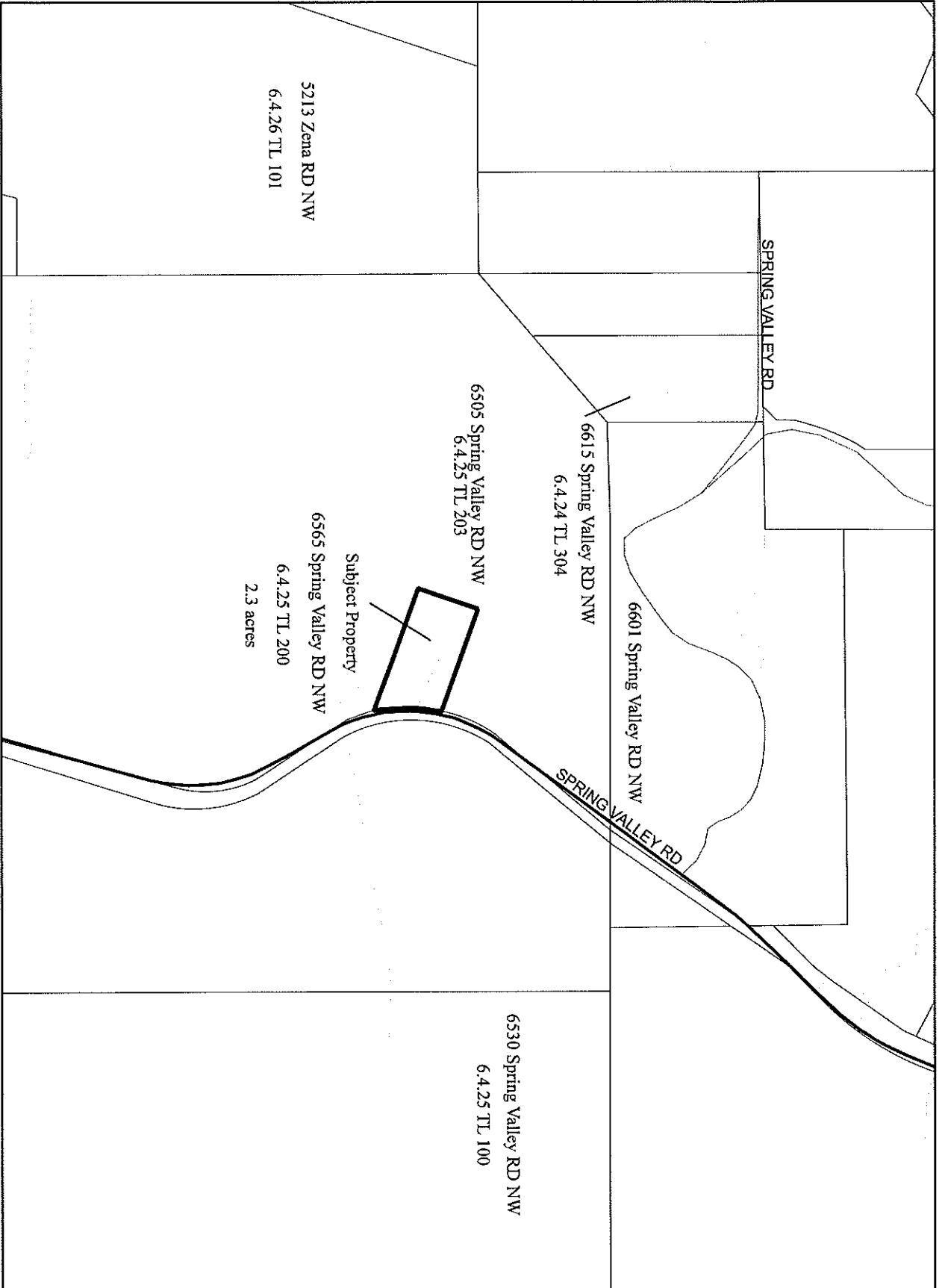
VI. ATTACHMENTS

- Attachment A-1: Applicant's Plot Plan
- Attachment A-2: Subject Property Map
- Attachment B: Applicant's Submittal
- Attachment C: Architectural Drawings
- Attachment D: Inventory Forms
- Attachment E: Ord. 92-5



The green square box 31.2' x 9' represents the dimensions of the addition replacement. All other measurements indicate distance from the addition/ existing dwelling to the property lines.

STAFF MAP FOR LUD 21-11

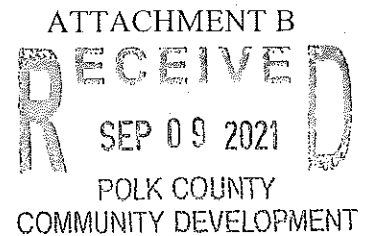


Date: 9/13/2021

This map was produced from the Polk County geographic databases to support its governmental activities. This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. The county is not responsible for any map errors, possible misuse, or misinterpretation. To report a map error, please call (503)623-0713.

September 9, 2021

Polk County Community Development
850 S Main St
Dallas, OR 97338



RE: LUD 21-11, Exterior Alterations and an Addition to a Historic Building

The below letter is written in response to a letter from Polk County Community Development, dated April 6, 2021. The intention of this letter is to provide further detail to complete the previously submitted land use application.

Many of the questions outlined in the letter are to determine whether or not the changes to the structure are harmonious and compatible with the appearance and character of the historic building. In an effort to answer these questions, I think it's best to dig a bit deeper into the style of the home.

The home style is currently listed on the historic registry as "classical revival: other." Clackamas county provides some detail as to what this particular style embodies on their website. While they are, in general, speaking of Clackamas County structures, their description should still apply to a structure in Polk County and does appear to be based upon their published description. The classic revival style is characterized by "low-pitched gable roofs, heavy architrave molding and double hung windows with six panes (or lights) in both upper and lower sash, sidelights and transoms around the door and classic columned porches" (Clackamas County Website)

I think at this point it is important to note that both the existing structure and proposed changes to the structure are harmonious with the above paragraph. The pitch/ gable style roof is not subject to change, the custom detailed molding is proposed to be reused and replica's formed when reuse is not possible due to dry rot, double hung windows with multiple panes in both upper and lower sashes will be replaced with double hung windows with multiple panes in both upper and lower sashes. The existing front door with a transom and sidelights will be reused. And lastly, the columned front porch will stay the same. The signature elements that make this home so obviously classical revival style will remain the same.

For the sake of clarity and completeness- I will use Polk County standards for exterior alteration format to address each of the building elements you have called out in your letter, in the order in which you mentioned them.

French Doors on addition

- A. **Retention of Original Construction.** In a previous letter, I detailed that the old addition is not salvageable. The new addition will require new doors. It is not practicable to reuse the exterior materials from the addition and also not practicable to build the addition without doors.
- B. **Height. N/A**
- C. **Bulk. N/A**
- D. **Visual Integrity of the Structure.** The existing structure currently only contains a front door and the back addition contains a single man door on each side of the addition. Our plans for the new

addition proposes several sets of French doors. The French doors look visually compatible with the rest of the house because they will have the gridded panes to match the windows, thus maintaining the lines of the home so it is cohesive throughout.

- E. **Scale and Proportion.** The relationship of voids to solids is cohesive throughout the home with the addition of the 3 sets of French doors proposed on the architectural drawing. See previously submitted architectural drawing for evidence of this.
- F. **Materials and Texture.** The doors will match the materials and texture of the windows.
- G. **Signs, Lighting and Other Appurtenances. N/A**

Vinyl Windows

- A. **Retention of Original Construction.** See previously submitted narrative for in depth description of why the windows require replacement. In summary, the majority of the windows are broken or cracked in some way and the wooden sash/ window frames contain dry rot.
- B. **Height. N/A**
- C. **Bulk. N/A**
- D. **Visual Integrity of Structure.** The new windows will have gridded panes (see previously submitted materials list) to preserve the lines on the existing home.
- E. **Scale and Proportion.** Window placement is not subject to change. The new windows will replace the old windows in the same location thus maintaining the relationship of voids to solids for the exterior of the house.
- F. **Materials and Texture.** The current windows are made out of wood and glass. However, this exact type of window is no longer available, a common constraint when looking to replace 176 year old building materials. I have contacted several window dealers/ building material dealers included Kilgore Blackman in pursuit of such a window. The vinyl window proposed will best replicate the existing windows from a visual standpoint.
- G. **Signs, Lighting and Other Appurtenances. N/A**

Hardie Lap Clear Wood siding

- A. **Retention of Original Construction.** It is not practicable to retain the original exterior siding. See previously submitted document and photos evidencing the condition of the siding.
- B. **Height. N/A**
- C. **Bulk. N/A**
- D. **Visual Integrity of Structure. N/A**
- E. **Scale and Proportion.** The house currently exhibits several different types of siding. The average size of the reveal on the house is 6", as was mentioned in a previous letter. However, each side of the house actually exhibits a different size of lap siding. We are proposing to use 6" siding because it is the average and will allow the home to look cohesive. The south wall exhibits 7" reveal siding, the east wall exhibits 5.5" reveal siding and the north wall has 6" reveal siding. Thus I have considered this to be an average of 6" reveal siding. Regardless of the current state of different types of siding and sizes- I think it's reasonable to want the same siding on the whole house.
- F. **Materials and Texture.** Per the Kilgore Blackman Building Materials representative that provided our materials list, wood siding material is currently unavailable due to shortages in the

availability of product. We have proposed Hardie Plank Siding as a substitute because of it's availability and its ability to replicate wood siding.

G. Signs, Lighting and Other Appurtenances. N/A

Covered Balcony on addition

A. Retention of Original Construction. N/A

B. Height. N/A

C. Bulk. N/A

D. Visual Integrity of Structure.

E. Scale and Proportion. The balcony is nicely centered on the main ridge of the roof on the addition and offers a symmetry that looks nice with the symmetry presented on the original house. The roof pitch over the covered patio is the same as is on the addition and the original portion of the home.

F. Materials and Texture. The covered balcony adds a design element that is cohesive to the design of both the addition and the existing home. The French doors have a gridded pattern to tie into the gridded pattern on the existing home. The French doors will be the same size and material as the French doors below it on the covered porch. The columns that support the balcony tie into the design of the covered porch below and the covered porch on the front existing portion of the house.

G. Signs, Lighting and Other Appurtenances. N/A

Columns

I believe the columns referenced here are intended to mean the support columns for the covered porch on the south side, the balcony and the front porch (East side)

A. Retention of Original Construction. We intend to retain the columns on the front porch as much as possible and build replicas when this is not possible due to dry rot and other forms of damage. Please note that the front porch column pillar in the most northeast corner of the house has recently fallen off of the building.

B. Height. N/A

C. Bulk. N/A

D. Visual Integrity of Structure. The spacing and lines of the columns will be preserved on the front porch of the home and the spacing and lines of the columns on the covered porch and covered balcony are intended to replicate that of the front porch. See architectural drawing for support of cohesivity.

E. Scale and Proportion. As previously mentioned, columns are an important element of the homes style so maintaining these elements in all three places is proposed and important.

F. Materials and Texture. The columns exhibited in all 3 places will be built out of wood.

G. Signs, Lighting and Other Appurtenances. N/A

Covered patio

A. Retention of Original Construction. N/A

B. Height. N/A

- C. **Bulk. N/A**
- D. **Visual Integrity of Structure.** This element of the proposed plans is more for the purpose of function than for design. Since the floor of the house sits up higher than the grade of the ground in that location, a small landing deck with stairs is proposed so that an exterior door can be added off of the kitchen.
- E. **Scale and Proportion.** The porch spans the length of the addition and is intended to provide style imitation of the front of the house to the south side.
- F. **Materials and Texture.** The back covered patio flooring will likely be a cement poured exterior floor surface and the wood support columns will be designed to imitate the wood details on the front porch.
- G. **Signs, Lighting and Other Appurtenances. N/A**

Deck with stairs

- A. **Retention of Original Construction. N/A**
- B. **Height. N/A**
- C. **Bulk. N/A**
- D. **Visual Integrity of Structure.** This element of the proposed plans is more for the purpose of function than for design. Since the floor of the house sits up higher than the grade of the ground in that location, a small landing deck with stairs is proposed so that an exterior door can be added off of the kitchen.
- E. **Scale and Proportion.** The deck is not intended to be visually disruptive to the style of the home and is proposed to be small in size- see architectural drawing for reference.
- F. **Materials and Texture.** The materials used for this deck will match the deck materials and railing materials used on the front porch- which will be wood products.
- G. **Signs, Lighting and Other Appurtenances. N/A**

Composition Roofing

- A. **Retention of Original Construction.** It is not practicable to retain the original roof. Roofs don't last forever and this one is past it's serviceable life. It leaks and has extensive granule loss.
- B. **Height. N/A**
- C. **Bulk. N/A**
- D. **Visual Integrity of Structure.** The pitch of the roof is not subject to change and the roof pitch proposed for the addition matches the pitch of the original structure. See Architectural drawings
- E. **Scale and Proportion. N/A**
- F. **Materials and Texture.** The new roofing material will be a granulated asphalt product and black in color to match the existing color of the roof.
- G. **Signs, Lighting and Other Appurtenances. N/A**

New Foundation

- A. Retention of Original Construction.** The existing piles of bricks and stumps do not constitute an adequate foundation. Foundation upgrades are required per the engineer to support the original structure for the future.
- B. Height.** N/A
- C. Bulk.** N/A
- D. Visual Integrity of Structure.** N/A- not a visible element of the home.
- E. Scale and Proportion.** N/A- not a visible element of the home.
- F. Materials and Texture.** N/A- not a visible element of the home.
- G. Signs, Lighting and Other Appurtenances.** N/A

Lighting

Your letter references lights in conjunction with windows on the upper and lower floors but the term "lights" when referencing windows, as the historic inventory mentions, is meant to indicate how many panes each window has. There is currently no lighting around the windows and we are not proposing any.

- A. Retention of Original Construction.** N/A- the house doesn't currently have exterior lighting.
- B. Height.** N/A
- C. Bulk.** N/A
- D. Visual Integrity of Structure.** N/A- Lighting is not considered a primary structural element.
- E. Scale and Proportion.** N/A
- F. Materials and Texture.** N/A
- G. Signs, Lighting and Other Appurtenances.** Maybe at this point it might be important to note that when the house was built, there was no electricity ran to the home. While I think this should not disqualify the home from having light, or electricity for that manor, I do think that having historically accurate lighting will be difficult. The recessed can lighting that I previously mentioned is intended to be installed into the ceiling of the porches and is intended to be subtle and more functional than decorative. The "farmhouse style scones" that I previously mentioned will also be functional and intended to provide exterior light to the home. Places that I think these exterior style scones should be installed to provide additional light include: to the left or right of the mudroom exterior door, on each side of the back porch French doors on the north side of the house, on each side of the front door, 2-3 on the covered patio on the south side of the house and on each side of the French doors leading to the covered balcony on the south side. See below for a photo of the style of lighting proposed. Also note that the actual lighting installed will be subject to availability.



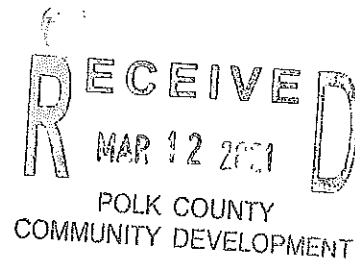
Per my telephone call with Blaine Curry from Polk county, he has advised that we provide you with answers to your questions for completion of the land use permit prior to completion of the building permit. There are significant costs associated with obtaining a truss engineering layout and although we wish we could provide that information to complete the building permit at this time, the potential to add additional finances to this project that could potentially not be recovered is a constraint. The truss engineering layout will not provide further exterior changes beyond what has been previously submitted by our architectural drawings. The drainage design for the balcony will include adding a scupper to the interior "pit" of the balcony that will drain onto the roof of the addition.

References:

Clackamas County Website: <https://www.clackamas.us/planning/historicclackamas.html#photos>

March 12, 2021

Polk County Community Development
850 S Main St
Dallas, OR 97338



RE: LUD 20-35, Exterior Alterations and an Addition to a Historic Building

The below letter is written in response to a letter from Polk County Community Development, dated October 19, 2020. The intention of this letter is to provide further detail to complete the previously submitted land use application.

I am enclosing a copy of structural plans, engineering calculations and a materials list for review. The materials list details exterior materials that will be required to complete the project broken out separately for the restoration of the front portion of the home and the new construction of the two story addition on the rear portion of the home.

The following two sections in this letter serve to provide further information for particular alterations cited in our original narrative that you have called out in your letter.

“The removal of two bedrooms along the front porch of the dwelling”:

It is our intention to remove the two bedrooms built onto the porch. The National Register of Historic Places Inventory Description for the subject property says the following: “A gable roof of medium pitch extends with a lesser slope over a colonnaded verandah with a plain frieze and shallow cornice. The end bays of the verandah have been filled in to create extra bedrooms. This was done some time after the house was built, though the “saddlebag” plan is not un-known in early Oregon.” These bedrooms can be further evidenced as a later addition because the slope line of the floor in the added bedrooms is consistent with that of the rest of the front porch. This is an indication that the original construction of the property did not include the bedrooms built on the porch. Therefore restoration to original construction would exclude the two added bedrooms on the porch. Per PCZO Section 183.050(B)(1) “So far as practicable, all original exterior materials and details shall be preserved.” It is our position that the removal of the bedrooms on the porch is both practicable and correctly restores the property to the original condition as described in the Historic Places Inventory Description and therefore should satisfy the requirements set forth by the Polk County Zoning Ordinance, as cited.

“The removal of the existing single-story “rear add-on” in order to establish a two-story “rear add-on”:

As stated in our previously submitted narrative, it is our intention to remove the single-story additions and replace them with a two-story addition. We have developed this strategy for several reasons. First, the existing addition is specifically stated in the National Register of Historic Places Inventory Description for the subject property as an addition. The Description reads as follows, “A gabled kitchen wing has been added to the north end of the west side, and the roof of the house continues with unbroken pitch over an ell which has been added to the south end of the west side.” Secondly, making alterations to the rear add-on of the house allows for the original house to remain architecturally unchanged and the

appearance of the house from the road to remain consistent with how it does currently. However, we would still be able to include square footage for rooms that are typically deemed essential elements of a home. Because the original structure does not include a kitchen or a bathroom, both of these rooms are included in the existing additions and are also included in the proposed additions.

It is our position that since these essential elements of the home have always been included as addition and not part of the "original" structure that we can create an addition that is not scabbed together but rather fits cohesively with the design of the original structure.

The existing condition of the dwelling:

The south side of the existing portion of the building has 6" reveal siding. Less than 50% of the paint remains on the siding. All boards are weathered, and exposed face nails are rusted. The bottom 2' horizontal span of siding has fallen off and there is a 2' horizontal span of siding about half way up, between the lower and upper story that has fallen off as well. There are four windows on the south side of the original house. Both of the upper story windows have broken glass panes, rotted/weathered sash/ trim. One of the lower story windows is completely boarded up and the other lower story window rotted/ weathered sash/ trim.

The north side of the existing portion of the building has 6" reveal siding. Less than 50% of the paint remains on the siding. All boards are weathered. There is a section just above the porch opening that has such warped boards that you can see the house framing. There are four windows on the north side of the original house. All four windows have rotted/ weathered sash/ trim. Some panes are cracked/ discolored.

The east side of the existing portion of the building (front) has 6" reveal siding. The paint is chipping off. The siding has been weathered and subject to dry rot. The four front facing windows are not broken but have rotted/weathered sash/ trim. The front door and window packages all have weather deterioration. The trim packages surrounding the four windows and the entire front door (trim, door and transom/sidelights included) are custom created and will be reused if possible. Where dry rot/ weather deterioration makes this impossible, replica's will be created using wood. The front span of the porch includes 6 custom 8x8 pillars with trim pieces squaring up solid round logs. The northern most post has fallen off and the southern most post is missing trim boards so the inner log is exposed. All beams show weather wear and rot in different locations. The front porch floor is made of 3.5" deck boards and are rotted/ broken at the easternmost ends of the boards. The stairs leading to the porch are missing and a ladder rests against the porch to provide access. The wooden railing across the front porch is weathered and includes some rotten locations and some rods missing.

The addition, attached to the south (rear) portion of the existing structure has no foundation. The addition is built directly on the dirt rather than piles of bricks, wood, timber rounds etc, that the original dwelling is built upon. The addition portion's floor slopes significantly inside and is very apparent from the outside as well. There isn't a feasible construction method available to lift the addition up because there isn't room to slide rods underneath. The addition is in very poor condition. The addition includes three different types of rotten/ missing siding and trim. Most of the windows are broken and boarded.

Note that the project's scope includes lifting the original structure to pour a new foundation underneath because the existing foundation is made of brick piles, wood piles, timber rounds, etc. The original

structure is not square and will be made square with a new foundation. Many of the existing materials have warped, tilted or been altered in shape by the slight shift as the house has settled on a sub-par foundation over more than a century and a half.

Proposed Alterations/ Repairs & Materials List

Because of the condition of the house, we are proposing to making alterations and repairs, as cited in our original letter so that this historic home can be a functional dwelling. If we do nothing, this house will simply decay until it's no longer salvageable. The intention of this section is to provide detail for the construction work we intend for the existing house to undergo. A materials list provided by Kilgore Blackman Building Materials accompanies this list. Also note that the exterior building materials proposed for the repairs of the original structure will be the same as the finish materials used on the addition so the whole building is cohesive when finished.

A representative of Kilgore Blackman Building Materials came out to the property and provided informed industry input as to what materials would/ would not need to be replaced on the home and also provided comparable replacement materials.

- **Replace Siding On Original Structure:** See condition section previously mentioned for support as to why this is necessary. Kilgore Blackman has proposed Hardie Lap Clear Wood Siding. Please note the secondary siding option: Doug Fir Shiplap Siding is not available for purchase at this time. The siding on the house is in very poor condition. Replacing all siding will allow for the home to be cohesive and and in good condition.
- **Replace Existing Exterior Trim as Needed:** See condition section previously mentioned for support as to why this is necessary. White Wood Primed Lumber is proposed for the trim replacement which will only occur on an as needed basis. Where we need to replace trim detail, a carpenter will work to shape the raw materials to match the exiting trim. This should be considered a repair because we only want to replace trim work as needed.
- **Replace All Windows:** See condition section previously mentioned for support as to why this is necessary. Kilgore Blackman has proposed Milgard windows and doors. See attached window summary provided to best match the existing style of windows. Please also note that ALL windows need to be replaced in the home. There is not a single functional, non rotted, non broken window on the house. As a result we are proposing that all windows be replaced.
- **Install New French Doors:** Kilgore Blackman has provided a price to install all new French doors (that will match the windows). The French doors proposed are all for the addition but I have included them in this summary for your reference.

David & Rebecca Knieling

Situs Address: 6565 Spring Valley Rd NW, Salem, Oregon 97304

Land Use Application Attachment in accordance with Chapter 183.050

History:

The house at this site was built in 1853 by pioneer John Phillips, who came to Oregon via the Oregon Trail in the 1840's. To our knowledge, the house is the oldest house in Polk County. It is believed that John and his wife Elizabeth purchased this land for \$100 with the Turner donation land claim in Polk county. The present condition of the house is unsuitable for living. As far as we are aware, the home has been uninhabited since the late 1970's or early 80's.

Description of Property:

This property is a 2.34 acre rectangular parcel that includes 4 existing buildings: the house, two garage type storage sheds and one structure that houses the pump and storage tank from the spring water source. There is an existing vehicular access to the dwelling location from Spring Valley Rd. The property rises slightly in elevation in the northern end of the parcel behind the house. The most northwest corner of the property is oak tree forested for approximately 14,000 square feet of the parcel. The remainder of the parcel is wild grass or dirt trails from cattle. There are 4 to 6 trees interspersed throughout the remainder of the property. The open land within and surrounding the structures on this parcel have primarily been used for cattle containment over the past 15 years.

Summary of Proposed Alterations:

The house, as it exists today, has been built upon and expanded somewhat haphazardly. If the owners needed an additional bathroom, they would simply add that on. The original building has been added on to several times. See attached plans/ photos for the house as it exists today. It is our intention to preserve the entryway, the existing front two rooms and bedrooms overhead from the original house and remove the existing attachments added on to the back of the house. See the proposed plans. We will be removing the kitchen, dining room, bathroom, laundry room single level add-ons and replacing that structure with a two story add on that will include a master bedroom, master closet and master bathroom as well as a bathroom to supplement the existing two bedrooms upstairs. Below, on the first level we will add a kitchen, dining room, bathroom and laundry room. This will both preserve the integrity of the exterior from the road and create a complete and functional living space within the house.

The primary adjustment that we will be making to the front portion of the house, is the removal of the two bedrooms added on to the porch. We will remove the two closet-sized bedrooms and restore the porch so that it spans the entire front of the house as we understand that it was originally built.

In order to execute this plan, we will first demolish the add-ons in the back of the house. We will then raise the existing preserved portion of the house so that we can pour a new foundation for it and the addition for the back of the house. We will then reset the house on the foundation. At this time, we will remove all unsalvageable materials from the front of the house and replace with the closest replica possible. Per the structural plans the existing walls around both fireplaces on the first floor original

building will need to be rebuilt in order to provide sufficient support. We will then build the preserved portion in conjunction with the new connecting rear portion of the house.

The original dwelling used the spring for a water source. Since we have purchased the property, we have reconstructed the water collection and pump system at the spring to provide water to the residence at the 6505 Spring Valley Address. It is our intention to replumb the house to attach to this updated pump and water storage source and both dwellings will be able to retrieve water from this source.

We are uncertain at this time how the present septic system for the house was operating. It is our intention to rebuild a new septic system. See the attached plot map detailing the location of the new proposed septic site.

There are two other garage/ shed structures on the property that are not currently in use. We currently intend to remove both of these structures.

The spring storage and pump house (built within the last 15 years) will be finished with siding and roofing materials to match the house.

Complete explanation of this request complies with applicable provisions & criteria in the Zoning Ordinance:

1. **Retention of Original Construction.** Many of the existing building/ structural materials on the house have been subject to rot, decay and/ or insect damage. See photo evidence of the decaying materials. We do anticipate that there will be some structural materials that will not be salvageable for use or will be safe to use in reconstruction. As this is the case, we intend to find and use materials consistent with the original building's size, shape, material and color. We will replace the white horizontal ship lap siding with new white horizontal shiplap siding. We will replace all the windows with new double hung windows that match the old in size. We anticipate ordering exterior custom columns and window trim to replace and match the existing on the house. We also will replace the black composition roof with a new composition roof. See house plans for other materials called out specifically for this project. Also see photo documentation to support the need to replace many of the existing materials.
2. **Height.** A two story add on will replace the existing one story add on behind the original house structure. See to-scale demolition and elevation plans for adjusted height information.
3. **Bulk.** A horizontal addition will be added behind the existing house frontage (as a replacement for all of the added-on structures). We will be removing the kitchen, dining room and bathroom add-ons from the first level and replacing that structure with a two story add on that will include a master bedroom, master closet and master bathroom as well as a bathroom to supplement the existing two bedrooms upstairs. Below, on the first level, we will add a kitchen, dining room, bathroom and laundry room. The existing 864 sq ft single story add on will be replaced with 1,031 sq ft on the first floor and 760 sq ft on the second floor.
4. **Visual Integrity of Structure.** We have no intention of making adjustments to the existing visual frontage structure of the house aside from the removal of the rooms added to the porch. See following section. It is our intention that the existing addition behind the house will cohesively tie to the original structure.
5. **Scale & Proportion.** See attached photo of the old house from the 1950's. The front elevation of the house includes four windows equally distributed across the face of the house with the front

7

7

door in the center. It is our understanding that the original porch extended all the way across the front of the house and two small rooms were added as sleeping porches for visitors. We intend to remove the two small sleeping porches and restore the front porch so that it spans the front of the house. The relationship of voids to solids will remain in tact and we do not believe that the removal of these two added on rooms disrupt the scale or proportion of the building. We will set back the walls and replace the window in the same location on the walls.

The proposed addition was designed to mimic the style of the existing main house structure. See proposed plans for replacement add on and elevation drawings that display the consistency of style throughout the remainder of the add on.

6. **Materials & Texture.** The existing dwelling is a Classical Revival/ Greek Revival architectural style home. As previously mentioned, we will have to replace many of the existing building components but will be replacing those materials with whatever material is presently available to best match the existing in both material and texture.
7. **Signs, Lighting & other Appurtenances.** The house has minimal exterior lighting. We will be adding recessed can lighting in the porch ceiling and exterior farmhouse style sconces on both sides of the front door. These same lighting features will be replicated on the back patio attached to the add on and other exterior doors from the building. We will restore the landscaping, flowerbeds and lawn surrounding the house to be consistent with what is presented in the 1950's photo of the house (shrubby lining the front flower bed and a grass yard planted surrounding the house). We will also replace the electric fence with a more presentable fence to be consistent with the style of the home and replace the chain link gate with a remote operated gate entry system. We intend to include a sign outside of the gate to indicate the historical significance of the property. Finally, we will be paving the circle driveway for clean access and turn around within the gate.

When we originally purchased this property, it was important to us that we invest into the incredible piece of history that it came with. We understand that this will be a lengthy and difficult project and several unknowns remain. Please let us know if there is any additional information that you will need from us in order to issue this permit.

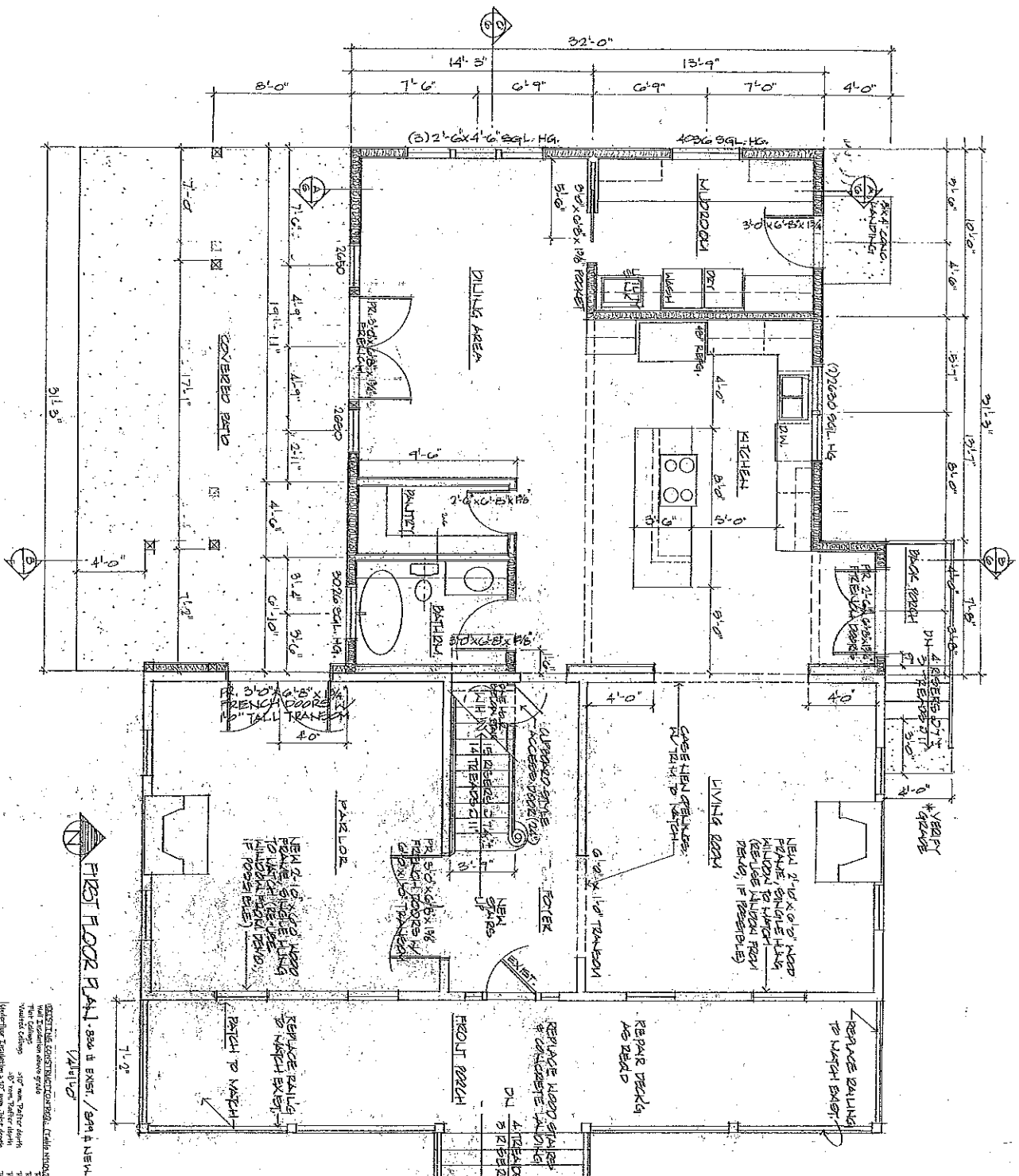
Thank you,

Haley Knieling Norwood (Primary Contact)

503-507-5716 | haley@cascaderooftingsalem.com

David & Becky Knieling (Owners)

503-932-2198 | becky@cascaderooftingsalem.com



FIRST FLOOR PLAN, 3rd & EXIST. / 5th & NEW

EXISTING CONSTRUCTION: WALL, CEILING, MINOR, GROUND

Timber framing above grade	1920
1st Floor	1920
2nd Floor	1920
Basement	1920
Roof	1920
Interior Trim	1920
Exterior Trim	1920
Windows	1920
Doors	1920
Staircase	1920
Plumbing	1920
Electrical	1920
Mechanical	1920
Other	1920

REPAIR WORK SHOWN IN THIS PLAN IS BASED ON VISUAL INSPECTION AND PHOTOGRAPHS. THE ARCHITECT HAS CONDUCTED VISUAL INSPECTIONS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY. THE ARCHITECT HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY. THE ARCHITECT HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY.

1920 HISTORICAL PRESERVATION - SCHEDULE 2020

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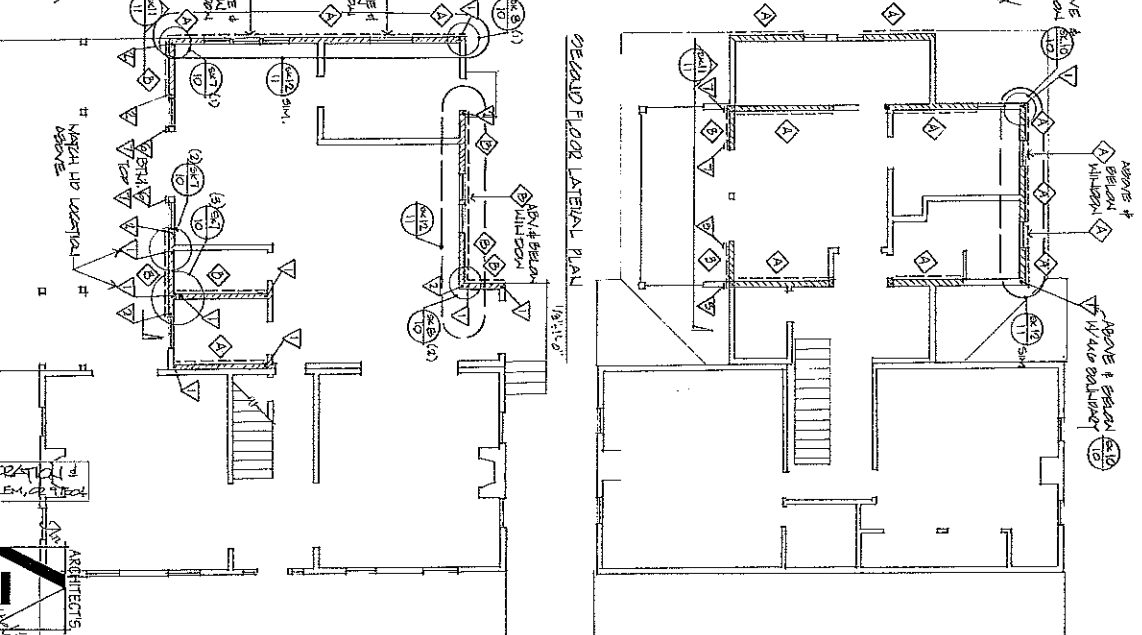
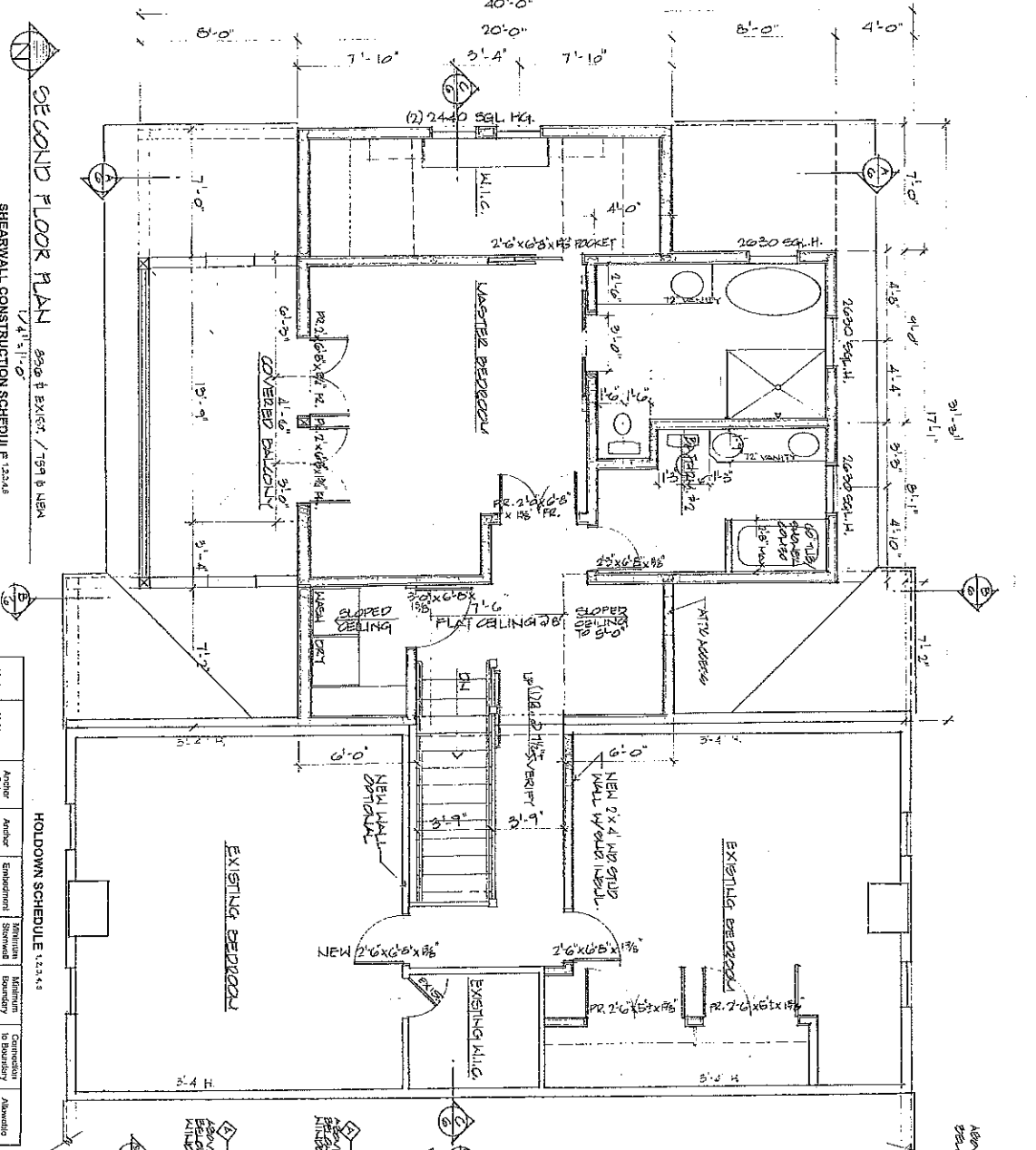
REPAIR WORK SHOWN IN THIS PLAN IS BASED ON VISUAL INSPECTION AND PHOTOGRAPHS.

JANE A. B. HORBEBACK ARCHITECTS
 2050 Oak Street
 Portland, Oregon 97202
 (503) 462-1121
 www.janeahorbeck.com

PHILLIPS HISTORICAL RECREATION
 ADDITION TO 5865 SPRING VALLEY RD. - EXIST. & 2ND

REGISTERED ARCHITECT
 JANE A. B. HORBEBACK
 2050 OAK STREET
 PORTLAND, OREGON 97202

4/16/2020
 FIRST FLOOR PLAN
 Page 2 of 11



SECOND FLOOR PLAN
 SHEARWALL CONSTRUCTION SCHEDULE 123348
 1/8" = 1'-0"

HOLDOWN SCHEDULE 123348

WEST FLOOR LATERAL PLAN
 1/8" = 1'-0"

Wall Type	Block	Height	Embedment	Reinforcement	Notes
SW-1	7197 1/2" x 14 1/2" x 16 1/2" CMU	12' 0"	12' 0"	12' 0"	12' 0"
SW-2	7197 1/2" x 14 1/2" x 16 1/2" CMU	12' 0"	12' 0"	12' 0"	12' 0"
SW-3	7197 1/2" x 14 1/2" x 16 1/2" CMU	12' 0"	12' 0"	12' 0"	12' 0"
SW-4	7197 1/2" x 14 1/2" x 16 1/2" CMU	12' 0"	12' 0"	12' 0"	12' 0"

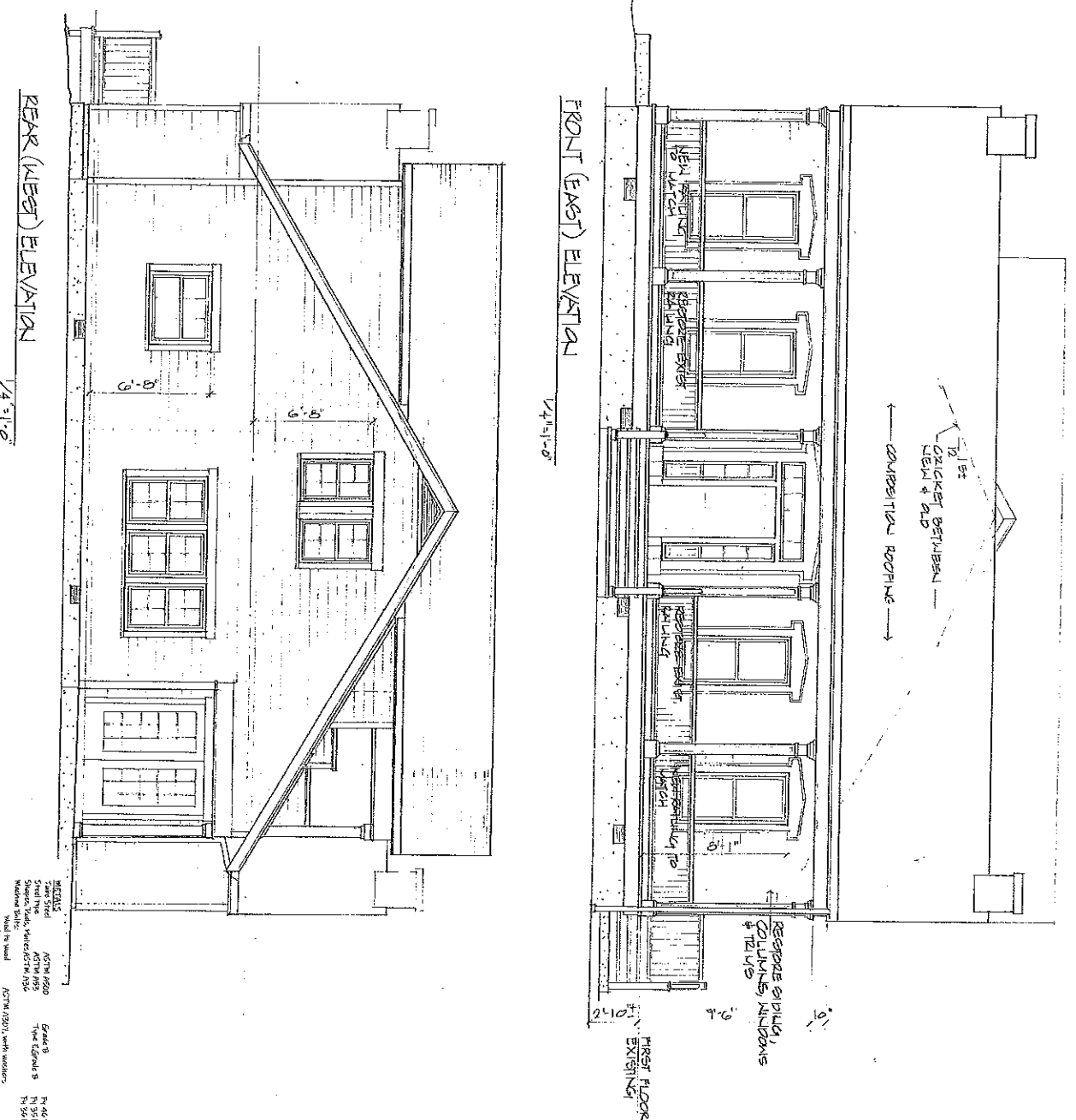
Holdown	Anchor Bolt	Anchor Diameter	Embedment	Minimum	Maximum	Comments	Approved
H-1	1/2" x 12"	1/2"	12"	12"	12"	12"	12"
H-2	1/2" x 12"	1/2"	12"	12"	12"	12"	12"
H-3	1/2" x 12"	1/2"	12"	12"	12"	12"	12"
H-4	1/2" x 12"	1/2"	12"	12"	12"	12"	12"

JOHN PHILLIPS HISTORICAL RESTAURANT
 ADDITION - 6665 SPRING VALLEY RD. SALESVILLE, PA

ARCHITECTS
Jane A. B. Horbeck
 Licensed Civil Engineer No. 10033
 6603 5th Street, Suite 200
 Harrisburg, PA 17106

DATE: 11/11/2011
 PROJECT: SECOND FLOOR LATERAL

Page 3 of 11



GENERAL NOTES

1. This construction is to be in accordance with the specifications for the construction of the building.
2. The contractor shall be responsible for obtaining all necessary permits and licenses.
3. The contractor shall be responsible for the safety of the construction site.
4. The contractor shall be responsible for the protection of the existing structures.
5. The contractor shall be responsible for the disposal of all waste materials.
6. The contractor shall be responsible for the maintenance of the site during construction.
7. The contractor shall be responsible for the completion of the building within the specified time frame.
8. The contractor shall be responsible for the quality of the construction.
9. The contractor shall be responsible for the safety of the workers.
10. The contractor shall be responsible for the safety of the public.

CONCRETE

1. All concrete shall be placed and finished in accordance with the specifications.

2. The contractor shall be responsible for the curing of the concrete.

3. The contractor shall be responsible for the protection of the concrete during construction.

4. The contractor shall be responsible for the completion of the concrete within the specified time frame.

5. The contractor shall be responsible for the quality of the concrete.

6. The contractor shall be responsible for the safety of the workers.

7. The contractor shall be responsible for the safety of the public.

ROOFING

1. The roof shall be constructed in accordance with the specifications.

2. The contractor shall be responsible for the installation of the roof.

3. The contractor shall be responsible for the protection of the roof during construction.

4. The contractor shall be responsible for the completion of the roof within the specified time frame.

5. The contractor shall be responsible for the quality of the roof.

6. The contractor shall be responsible for the safety of the workers.

7. The contractor shall be responsible for the safety of the public.

FRONT ELEVATION

1/4" = 1'-0"

REAR (WEST) ELEVATION

1/4" = 1'-0"

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REAR (WEST) ELEVATION

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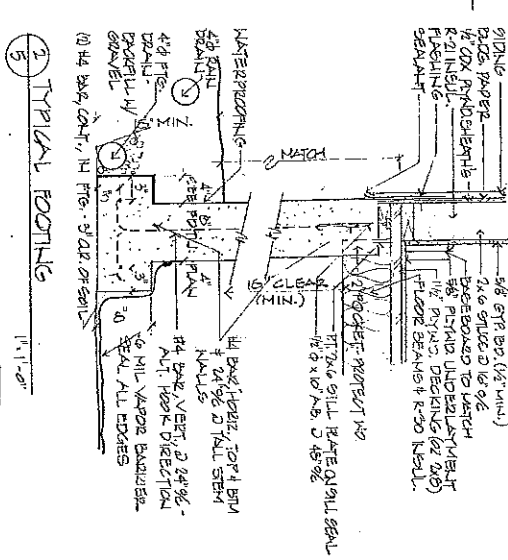
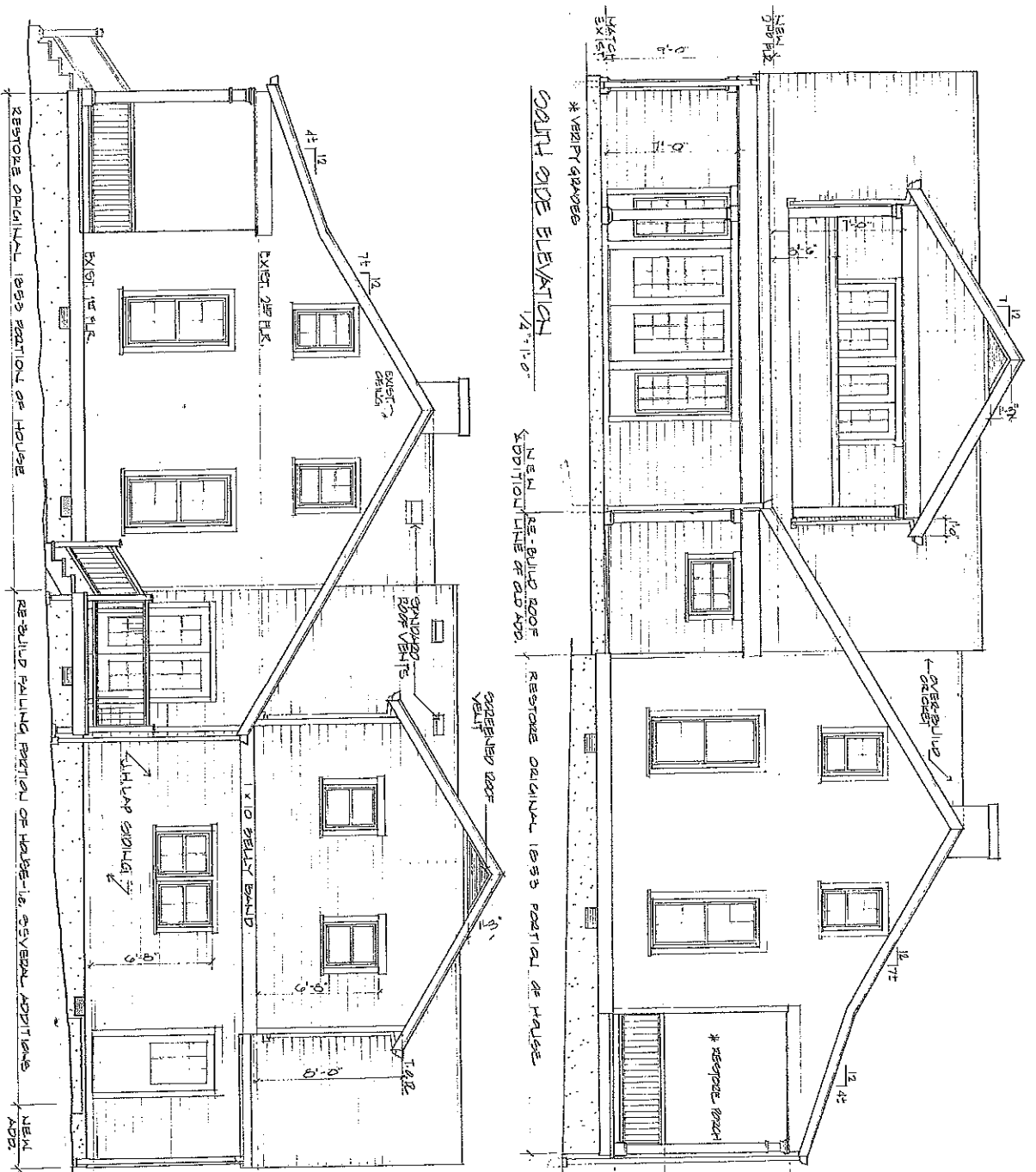
JOHN PHILLIPS HISTORICAL RESTORATION
 ADDITION - 6865 SPRING VALLEY RD. GALEN, OR 97341

REGISTERED ARCHITECT

ARCHITECTS

Jane A. B. Honbeck
 10300 Clark Center Rd.
 GALEN, OR 97341
 (503) 888-2427

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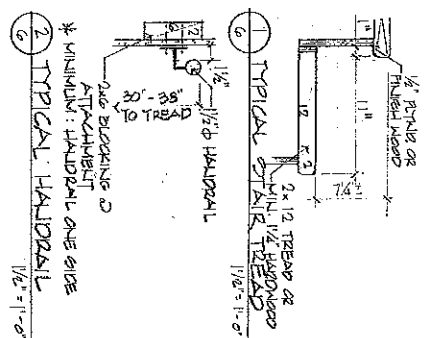
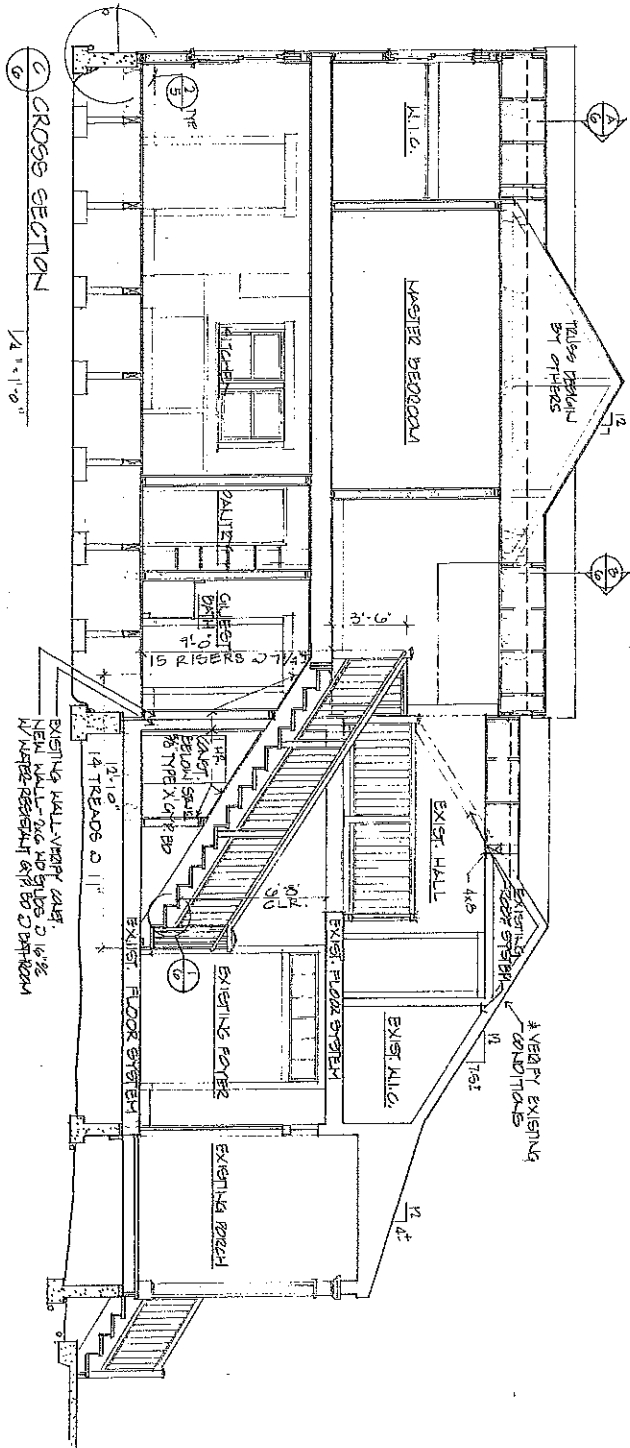
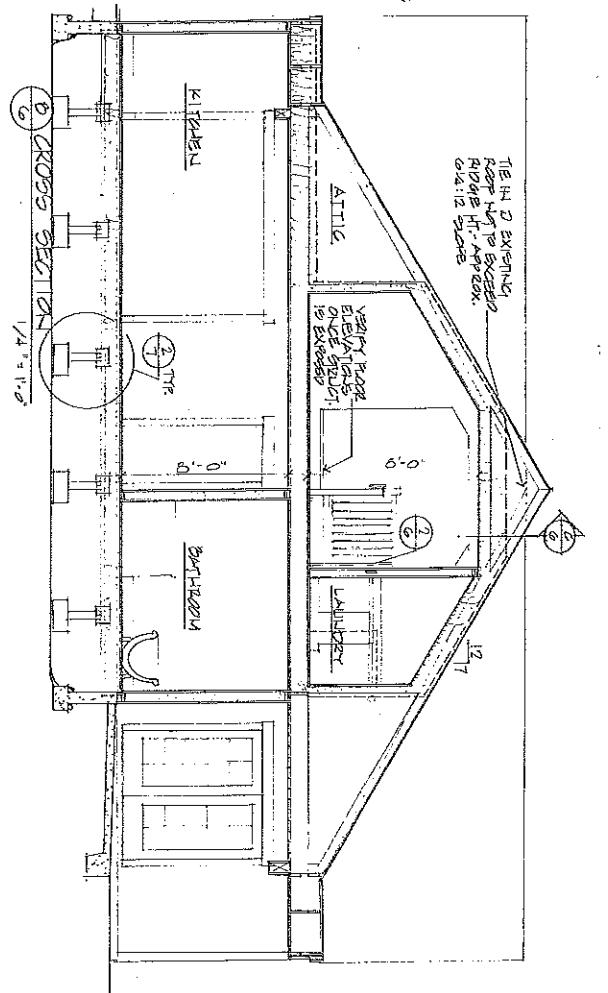
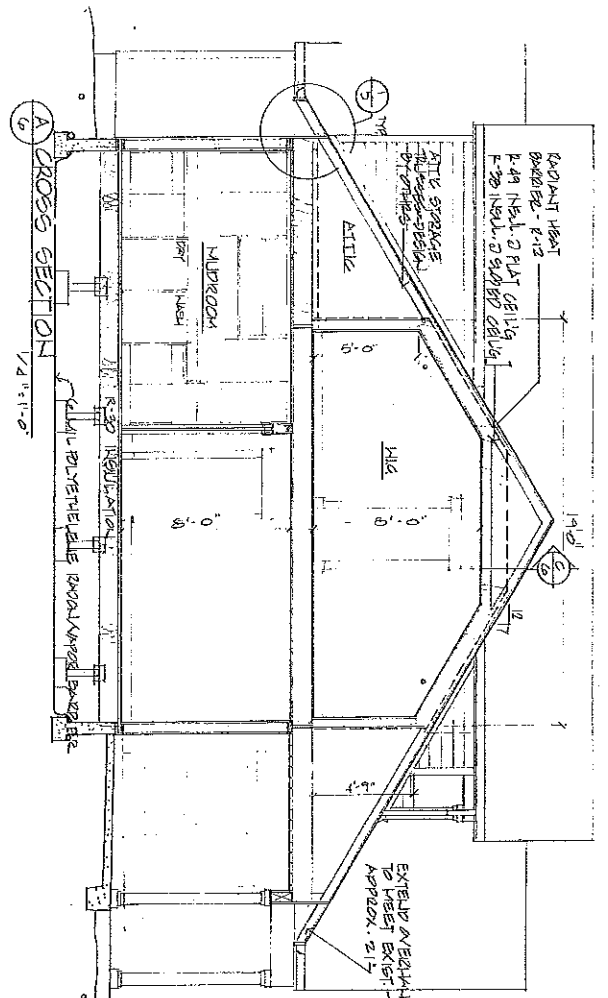


JOHN PHILLIPS HISTORICAL RESTORATION ARCHITECTS
 1000 GARDEN ST. SALEM, OR 97128
 (503) 586-2427

REGISTERED ARCHITECT
 JANE A. B. HONBECK
 1000 GARDEN ST. SALEM, OR 97128
 (503) 586-2427

ARCHITECTS
 JANE A. B. HONBECK
 1000 GARDEN ST. SALEM, OR 97128
 (503) 586-2427

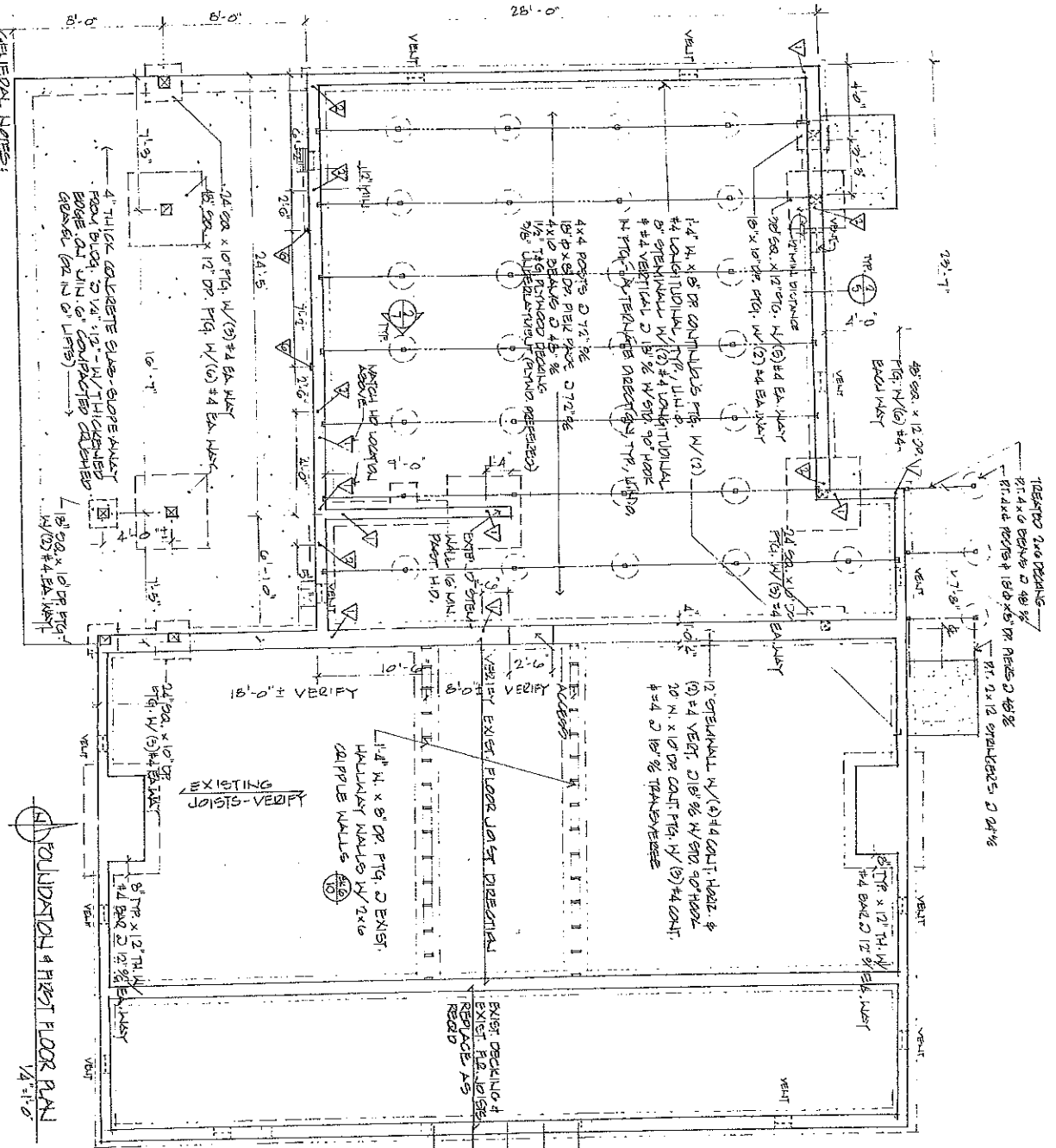
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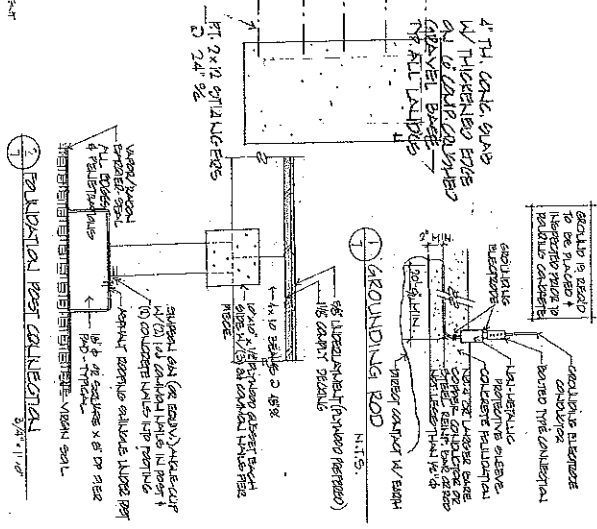
JOHN PHILLIPS HISTORICAL RESTORATION & ADDITION - 6888 SPRING VALLEY RD. SCHEM. 02 9702 04

ARCHITECTS
 Jane A. B. Horbeck
 4400
 CROSS SECTIONS
 Page 6 of 11

- GENERAL NOTES:
1. TYPICAL PARTS REFER:
 2. ALL FOOTINGS TO BE ON UNDISTURBED ORIGINAL SOIL. ALL MINIMUM 2" COMPACTED GRAVEL UNDER.
 3. ALL CONCRETE TO HAVE MINIMUM 2800 PSI COMPRESSIVE STRENGTH.



FOUNDATION & FIRST FLOOR PLAN
1/4" = 1'-0"



HOLDOWN SCHEDULE (Auto populated page 3)

Item	Material	Anchor	Anchor Diameter	Embedment Length	Minimum Spliced Length	Minimum Boundary Member	Minimum Boundary Member	Connection to Boundary Member	Approved Load
HD-1	ASTM A36	ASTM A36	5/8"	12x24"	6"	(2) 24"	(3) 12" x 2.5"	3075 #	4805 #
HD-2	ASTM A36	ASTM A36	5/8"	20x24"	6"	(2) 24"	(3) 12" x 2.5"	4805 #	4805 #
HD-3	ASTM A36	ASTM A36	5/8"	24x24"	6"	4#	(3) 12" x 2.5"	4805 #	4805 #
HD-4	ASTM A36	ASTM A36	5/8"	24x24"	6"	4#	(3) 12" x 2.5"	4805 #	4805 #
HD-5	ASTM A36	ASTM A36	5/8"	24x24"	6"	4#	(3) 12" x 2.5"	4805 #	4805 #
HD-6	ASTM A36	ASTM A36	5/8"	24x24"	6"	4#	(3) 12" x 2.5"	4805 #	4805 #
HD-7	ASTM A36	ASTM A36	5/8"	24x24"	6"	4#	(3) 12" x 2.5"	4805 #	4805 #

PHILLIPS HISTORICAL RESTORATION #

ARCHITECTS

JANE A. B. HONBUCK

REGISTERED ARCHITECT

1100 N. OREGON

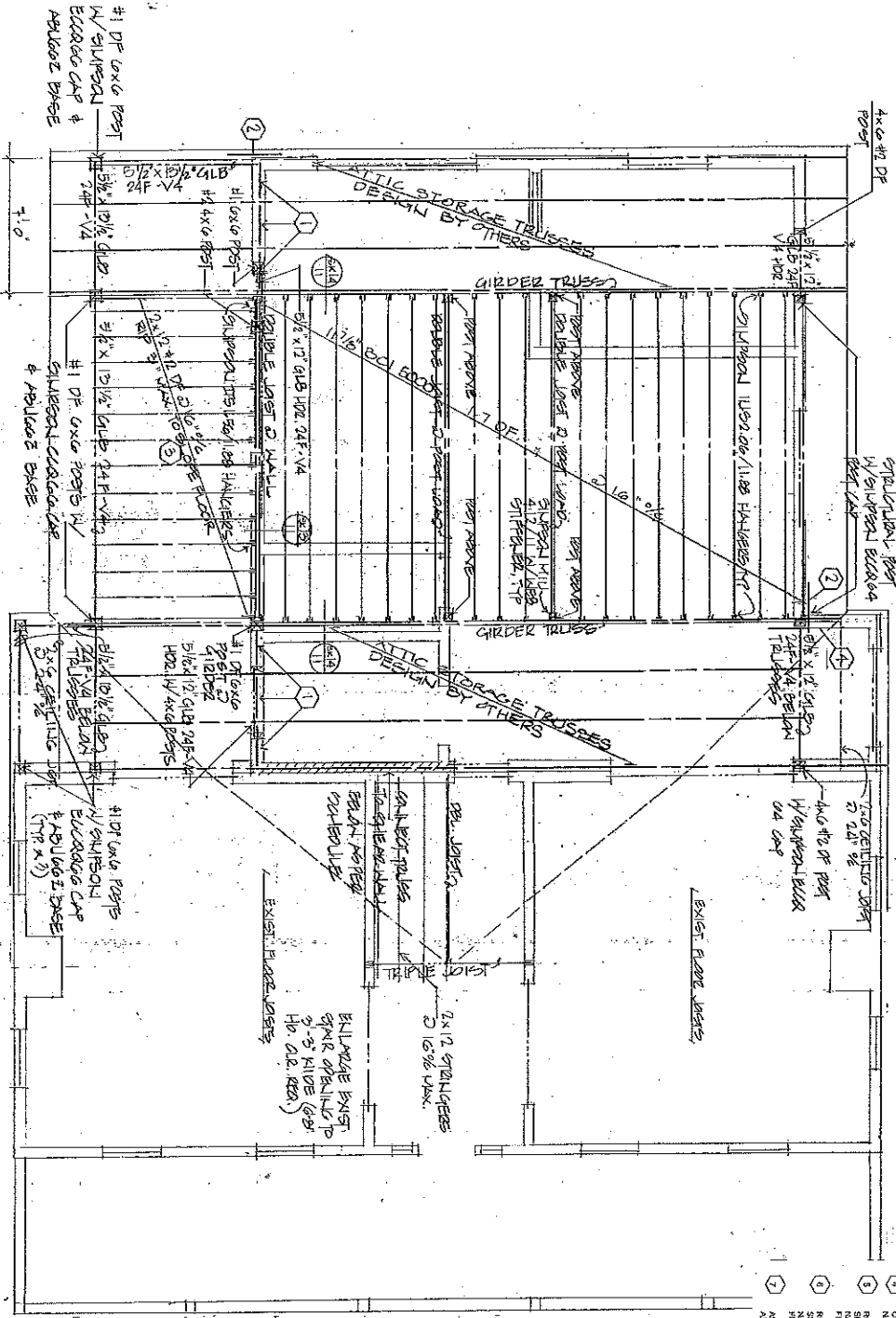
PORTLAND, OREGON 97202

PHONE: 503-282-2427

FAX: 503-282-2427

Page 7 of 11

STEEL FLOOR FRAMING
(OVER FIRST FLOOR PLAN) 1/4" = 1'-0"



- REVISIONS**
- 1 PROVIDE FULL DEPTH TRUSS ROOFING, SECURE TO TOP PLATE WITH 20# SLAG-FLY AND ANCHORS. FASTEN WEATHENING TO BLOCKING WITH 1/2" DIA. NAILS AT 7' O.C.
 - 2 ALTER BEAM WITH OUTSIDE FACE OF WALL AND CONNECT TO TOP PLATE WITH SAMPSON 6x6x12 WITH 6041, 147, 427, 147x147x147.
 - 3 FLOOR STRAINING MINIMUM 2x2x2 WOOD STRUCTURAL PANEL STRUCTURAL 1 1/2" X 1 1/2" AT BOUNDARY AND SUPPORTED EDGES AND BLOCKING AND 12' O.C. IN FIELD.
 - 4 CONNECT TRUSS TO TOP PLATE WITH SAMPSON TRUSS TIE-STRAP WITH 101, 12x12x2 NAILS.
 - 5 ROOF SHEATHING MINIMUM 3/4" WOOD STRUCTURAL PANEL STRUCTURAL 1 1/2" X 1 1/2" X 1 1/2" O.C. IN BOUNDARY AND SUPPORTED EDGES AND BLOCKING AND 12' O.C. IN FIELD.
 - 6 ROOF SHEATHING MINIMUM 1/2" WOOD STRUCTURAL PANEL STRUCTURAL 1 1/2" X 1 1/2" X 1 1/2" O.C. AT BOUNDARY AND SUPPORTED EDGES AND BLOCKING AND 12' O.C. IN FIELD.
 - 7 ADDITIONAL TRUSS WITH 2x4 @ 16" O.C. AND SECURE TO TOP PLATE WITH SAMPSON 6x6x12 WITH 6041, 147, 427, 147x147x147.

JOHN PHILLIPS HISTORICAL RESTORATION
ADDITION - 6665 SPRING VALLEY RD. - 2012-2013

REGISTERED ARCHITECT
JANE A. B. HONBECK
10550 Glenview Rd.
Dallas, TX 75238
(972) 398-4677

ARCHITECTS
JANE A. B. HONBECK
10550 Glenview Rd.
Dallas, TX 75238
(972) 398-4677

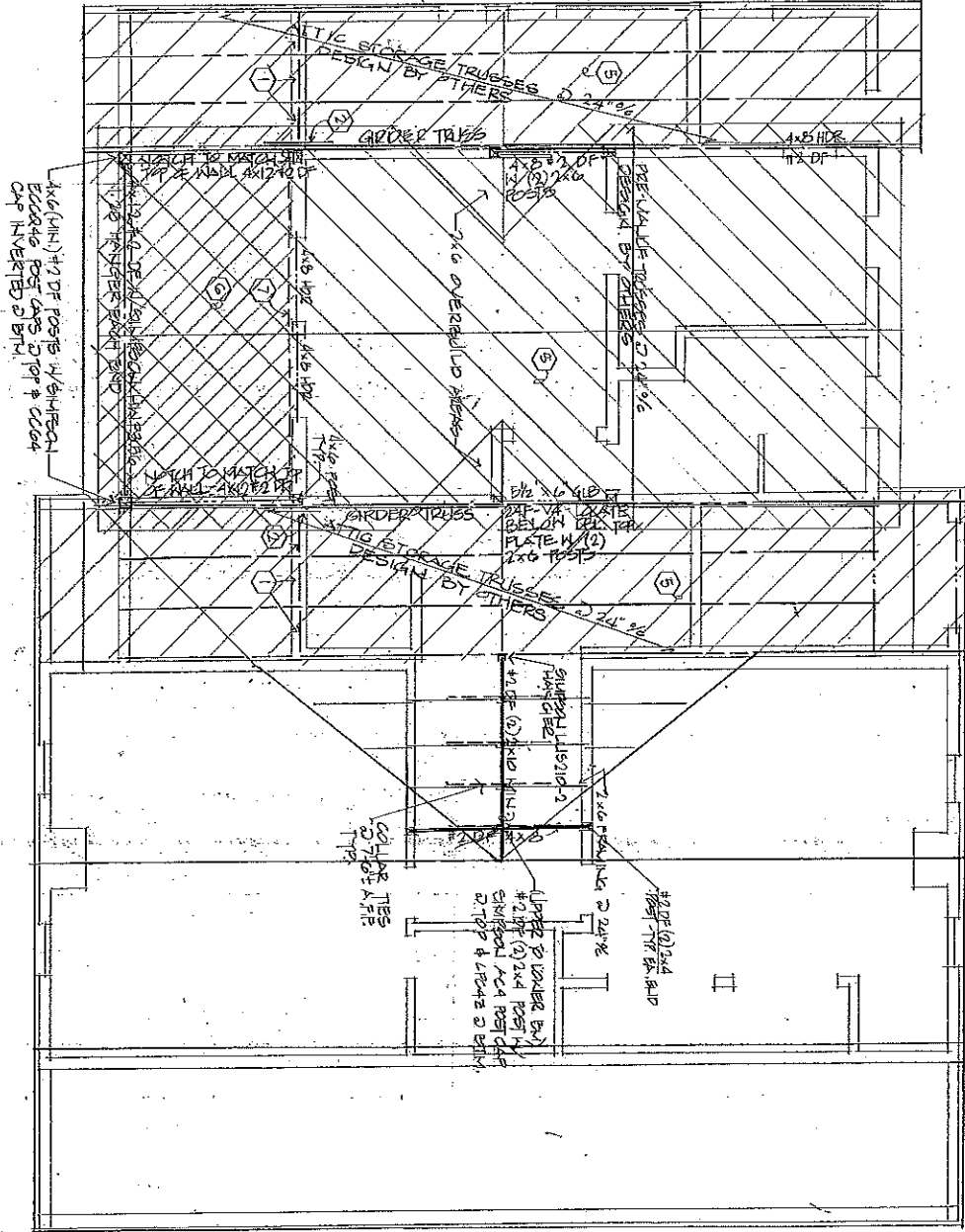
4/1/10
JANE A. B. HONBECK
REGISTERED ARCHITECT
SECOND FLOOR FRAMING

Page 2 of 11



ROOF FRAMING
 (OVER SECOND FLOOR PLAN) 1/8" = 1'-0"

NOTE: SEE FLOOR FRAMING PLAN FOR LOWER BEAMS



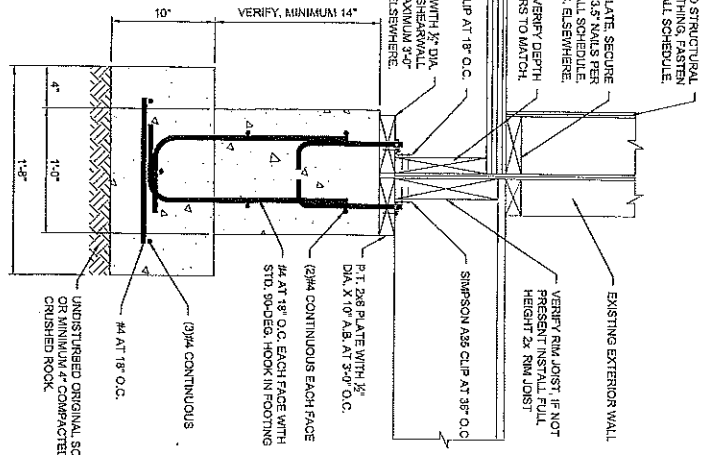
JOHN PHILLIPS HISTORICAL RESEARCH
 ADDITION - 6566 SPRING VALLEY RD. SALEM, OR 97321

REGISTERED ARCHITECT
 STATE OF OREGON
 JOHN PHILLIPS HISTORICAL RESEARCH
 6566 SPRING VALLEY RD.
 SALEM, OR 97321
 (503) 366-2487

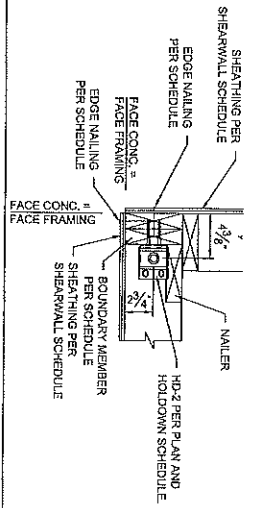
ARCHITECTS
 Jane A. B. Hornbeck
 6566 SPRING VALLEY RD.
 SALEM, OR 97321
 (503) 366-2487

MIN 1/4" HOOK STRUCTURAL PLATE PER SHEARWALL SCHEDULE PER SHEARWALL SCHEDULE.

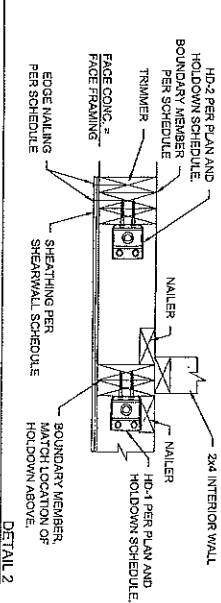
2x6 SOLE PLATE SECURE WITH 0.125x3.5" NAILS PER SHEARWALL SCHEDULE. MAXIMUM 8" O.C. ELSWHERE. 2x RIM JOIST VERIFY DEPTH FOR FINISH FLOORS TO MATCH.



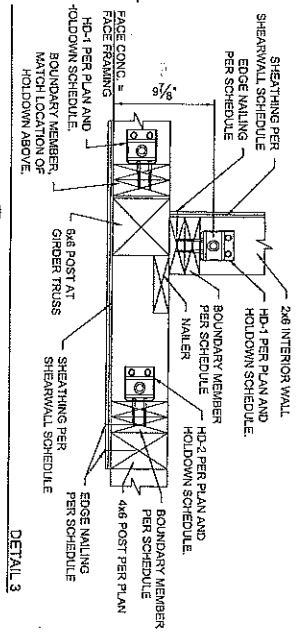
SK 6 COMMON WALL FOOTING SCALE: 1/2"=1'-0"



DETAIL 1

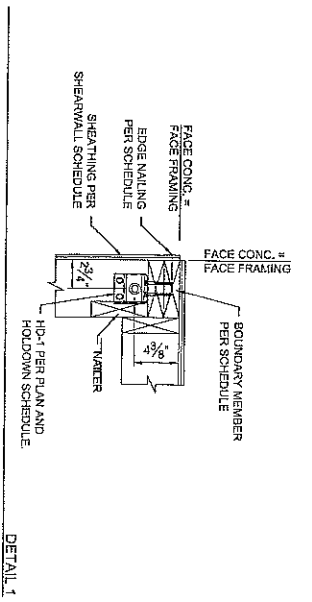


DETAIL 2

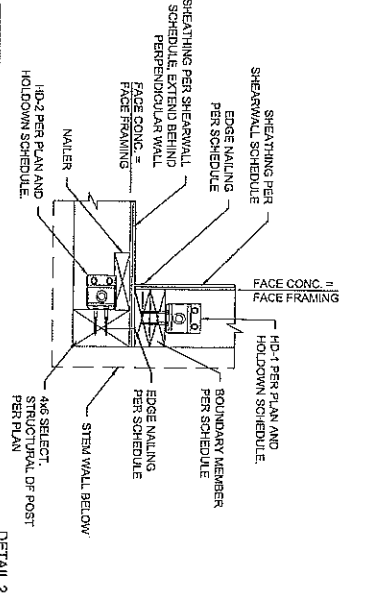


SK 7 LOWER HOLD-DOWNS SCALE: 1/2"=1'-0"

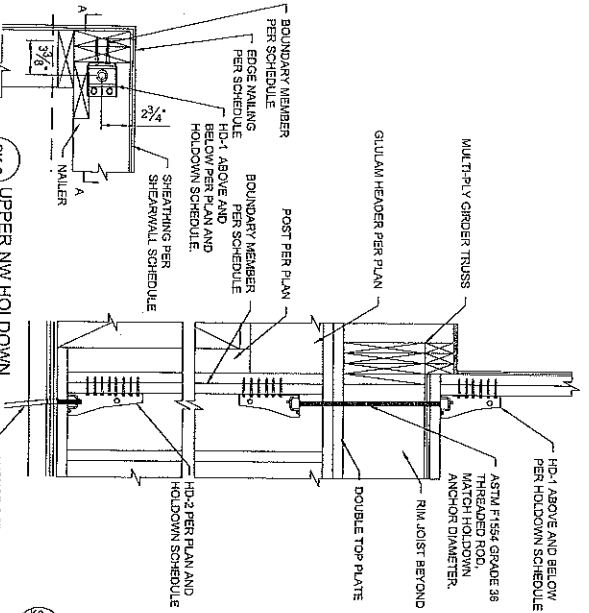
SK 8 LOWER HOLD-DOWNS SCALE: 1/2"=1'-0"



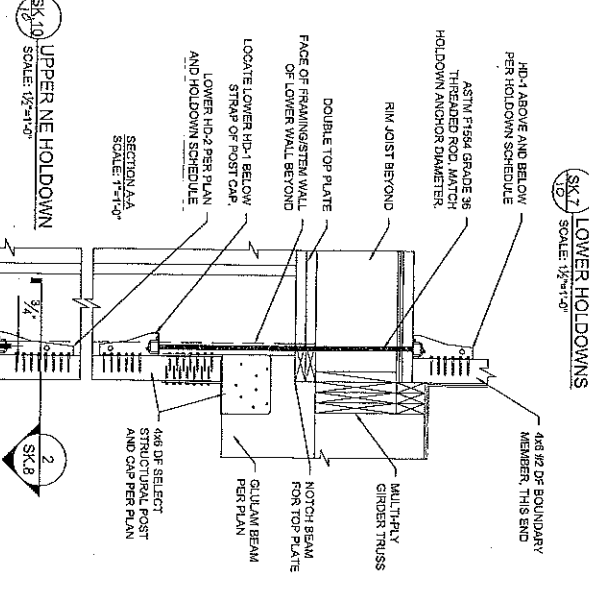
DETAIL 1



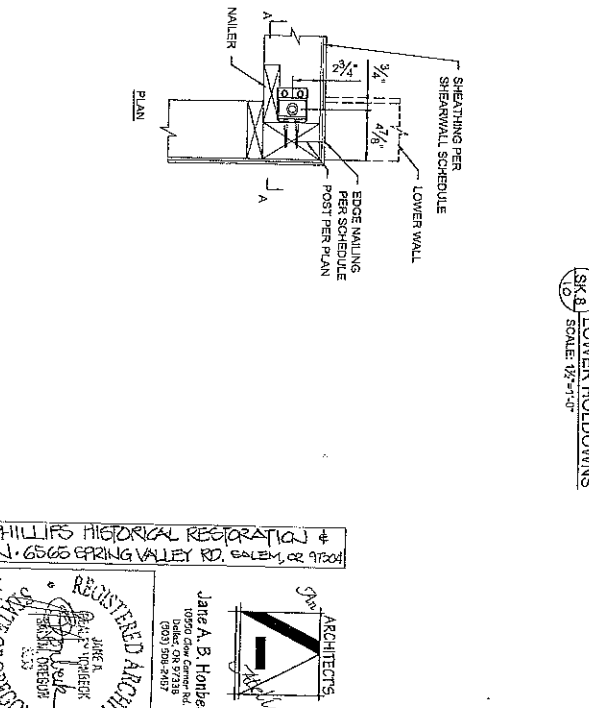
DETAIL 2



SK 8 UPPER NW HOLD-DOWN SCALE: 1/2"=1'-0"

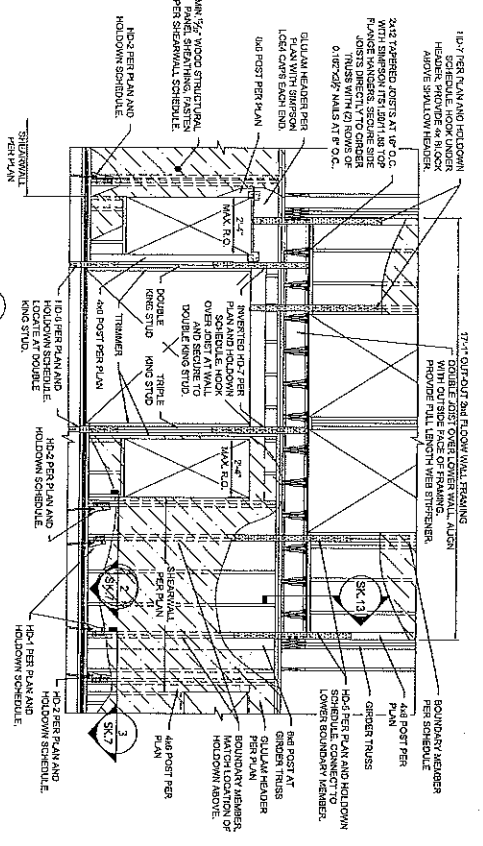


SK 10 UPPER NE HOLD-DOWN SCALE: 1/2"=1'-0"

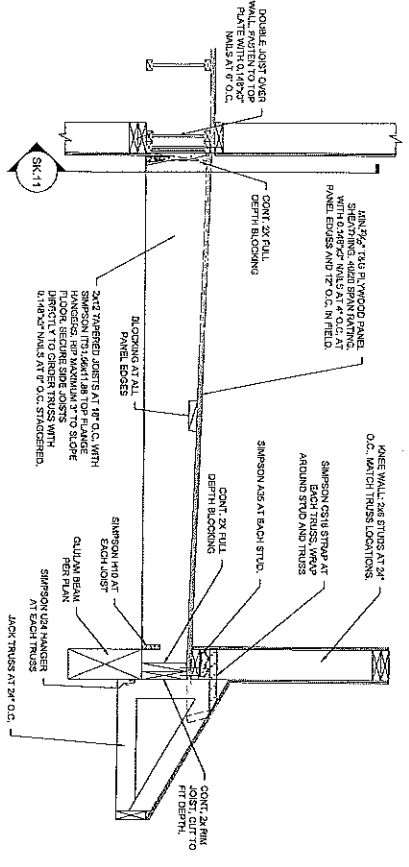
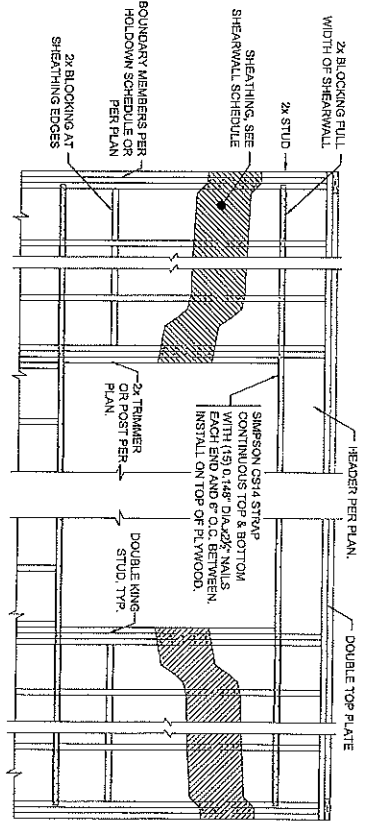


SK 8 LOWER HOLD-DOWNS SCALE: 1/2"=1'-0"

PHILLIPS HISTORICAL RESTORATION
 ADDITION 6500 SPRING VALLEY RD. # 202
 JANE A. B. HORTLECK ARCHITECTS
 10520 Oak Center Rd.
 (903) 991-2497
 REGISTERED ARCHITECT
 JANE A. B. HORTLECK
 4/1/20
 STATE OF TEXAS
 NO. 0000000000
 Page 10 of 11

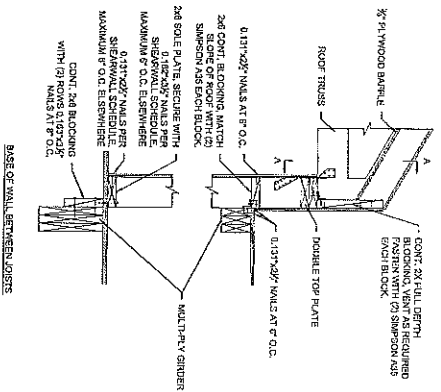
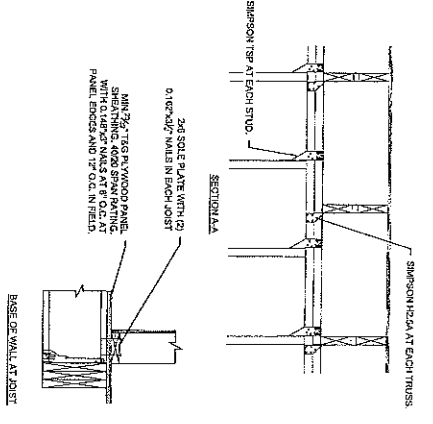


SK.12 STRAP TIE AT HEADER AND SILL
SCALE: N.T.S.



SK.13 BALCONY SECTION
SCALE: 3/4\"/>

SK.14 2ND FLOOR WALL SECTION
SCALE: 3/4\"/>



JOHN PHILLIPS HISTORICAL RESTORATION
ADDITION: 6666 SPRING VALLEY RD. S.W. 1/4, Q. 9704

ARCHITECTS
Jane A. B. Honbeck
10200 Glen Center Rd.
Dallas, TX 75243
(972) 268-4677

Page 11 Of 11

Name: JOHN PHILLIPS HOUSE
Address: 6565 SPRING VALLEY RD.
Quadrangle: MISSION BOTTOM

T/R/S: 6/04/25
Taxlot: 200

ATTACHMENT D



Negative No.:

Slide No.:

Date of Construction: 1853
Plan Type/Shape: RECTANGULAR
Foundation Material: POST-AND-BEAM W/BRICK PIERS
Wall Construction: WOOD
Roof Form and Materials: GABLE W/COMPOSITION SHINGLES
Primary Window Type: SIX-OVER-SIX AND ONE-OVER-ONE W NARROW SURROUNDS
Exterior Surfacing Materials: LAP
Decorative Features: HARDWARE; PEDIMENTED WINDOW CORNICES
Other: RECESSED PORCH W/ PANELED POSTS AND CAPS, SIMPLE BALUSTRADE AND PANELED CEILING, E. ELEV.; PANELED DOOR W/MULTI-LIGHT TRANSOM AND SIDELIGHTS; ELL W/GABLE ROOF AND INTERIOR CHIMNEY, W. ELEV.; TWO INTERIOR END-WALL CHIMNEYS; GABLED WOODSHED ATTACHED TO REAR ELL

Style: CLASSICAL REVIVAL
No. Stories: 1
Basement (Y/N): NO
Structural Frame: BALLOON

Condition: Good Fair Poor Moved

Exterior Alterations/Additions (Dated): CUPBOARDS ADDED TO FRONT PORCH (n.d.); PORCH PARTIALLY ENCLOSED W/ MATCHED SIDING (n.d.); PARTIALLY RESIDED, W. ELEV. (n.d.); ATTACHMENT TO REAR OF ELL (n.d.)

Statement of Significance (Historical and/or architectural importance, dates, events, person, contexts), use additional sheets if necessary:

The John Phillips House is significant in its association with John Phillips (1814-1892), Oregon pioneer of 1845, and as the site of John Turner's land claim, the first American claim within the current boundaries of Polk County.

Turner, a member of the Jedediah Smith trapping party of 1828, the first American-based fur company to penetrate the Oregon Country since 1813, was associated with at least two of the Hudson Bay Umpqua brigades between 1829 and 1833. It is unclear whether Turner remained for any length of time in the valley before 1835, but that year he returned from California leading a party that included George Gay, an early Polk-Yamhill County pioneer, and Dr. William Bailey.

In 1837, Turner, with Ewing Young and other early Willamette Valley settlers, participated in driving the first herd of cattle--700 to 800 head--into the Willamette Valley from California, thus freeing the settlers from having to purchase or lease cattle from the Hudson Bay Company. Following this, Turner "took the job of wrangler for the Methodist mission and handled their herd of horses and cattle on the land just across the river to the west of the Mission in what is now Polk and Yamhill counties" (Holmes 1976:53).

Turner is thought to have built the first structure in Polk County between 1837-38, near the site of the Phillips House. Lieutenant Henry Eld, Jr., describing a visit to Turner in September of 1841, described Turner's house as a "mere log hut...without a single article of furniture to sit or lay; & but one or two of the more useful cooking utensils." (Eld 1841:21)

John Phillips purchased the Turner claim for \$100 in 1847. Phillips, a native of Wiltshire, England, was a trained cabinet-maker and carpenter who engaged in general farming and the manufacturing of doors, sashes, blinds, coffins and household furniture for the early settlers in the county. In 1849 he traveled to the California gold fields returning the same year. Although records are unclear as to Phillip's success in California, it is believed that he returned with enough money to begin the construction of the subject house which was completed in 1853.

Ownership of the Phillips House has remained in the family since its initial construction.

The John Phillips House is an excellent example of the Classical Revival style of architecture. Domestic buildings were designed in this style in Oregon from the 1840s through 1865. Although generally buildings of this period were extremely modest, certain references to the classical Roman or Greek architecture are usually evident.

In the case of the Phillips House characteristic features include the facade arrangement and details of the porch and fenestration. The facade is arranged around a central entrance, flanked by double-hung sash windows. The front porch--which originally extended across the full-width of the house--is supported by capped, paneled posts. Particularly noteworthy are the pedimented window heads and Federalist entry, which is composed of a paneled door, transom and sidelights. Other features, such as the simple, lap siding and end-wall interior chimneys, are typical of very early buildings in Oregon.

Alterations include the partial enclosure of the front porch, a change which occurred during the occupation of the Phillips family. Other changes involve the alteration of the rear wing. Neither alteration significantly detract from the importance of the building as a rare example of an early building type nor as an example of the Classical Revival style.

SHPO Inventory No.:

5/13/92

BEFORE THE BOARD OF COMMISSIONERS
FOR THE COUNTY OF POLK, STATE OF OREGON

ATTACHMENT E

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In the Matter of the)
Inventory of Significant)
Historical Resources)

ORDINANCE NO. 92-5

Whereas, Polk County has been engaged for several years in periodic review activities under Oregon land use laws and Polk County ordinances; and

Whereas, the Historic Landmarks Commission conducted numerous public hearings on the matter, including the subject of this Ordinance, and the Board of Commissioners held public hearings on January 8, 1992, January 29, 1992 and March 25, 1992, due notice of all of such public hearings having been given; and

Whereas, the Board of Commissioners publicly announced closure of the Record in this matter, there having been no request for an extension, as of Wednesday, March 25, 1992; and

Whereas, the Board has reviewed the Record of all proceedings in this matter, and is fully advised in the premises; now, therefore,

THE POLK COUNTY BOARD OF COMMISSIONERS ORDAINS AS FOLLOWS:

Sec. 1. The new inventory, attached as Exhibit "A" is added to the Polk County Comprehensive Plan.

Sec. 2. An emergency is declared, and this Ordinance takes effect upon its passage.

Dallas, Oregon, May 13, 1992.

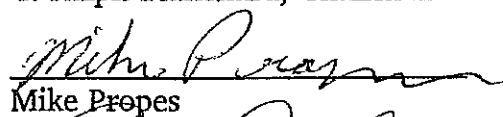
POLK COUNTY BOARD OF COMMISSIONERS

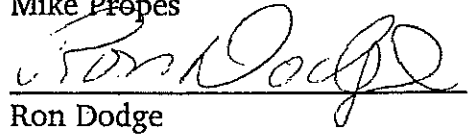
Approved as to Form:



Robert W. Oliver
County Counsel


C. Ralph Blanchard, Chairman


Mike Propes


Ron Dodge

First Reading: MAY 13, 1992

Second Reading: MAY 13, 1992

Recording Secretary: SYNTHIA NOBLE

920923

POLK COUNTY INVENTORY OF SIGNIFICANT HISTORIC RESOURCES

Polk County Community Development
Planning Division

<u>RESOURCE</u>	<u>DESIGNATION*</u>	<u>TREATMENT**</u>
Ballston School	1C/3C	PCZO 183
Bethel College Site	1C/3C	Marker/PCZO 183.060
Bethel School	1C/3C	PCZO 183
Brunk House - NR	1C/3C	PCZO 183
Buell Mill Site	1C/3C	PP zoning
Buena Vista Ferry Site	1C/3C	PS zoning
Buena Vista IOOF Hall	1B	NA
Burch House	1C/3C	PCZO 183
Burch Pioneer Cemetery	1C/3C	PC Zone
Camp Walker	1B	NA
Chamberlain Cemetery	1B	NA
Dallas Cemetery	1C/3C	PC zoning
Domes House - NR	1C/3C	PCZO 183
Fir Crest Cemetery	1C/3C	PC zoning/marker
Fort Yamhill - NR	1C/3C	PP zoning
Gay House Site	1C/3C	Marker/PCZO 183.060
Grand Ronde Hotel	1C/3C	PCZO 183
Grand Ronde Railroad Depot	1C/3C	PCZO 183
Hart Cemetery	1B	NA
Helmick Park	1B	NA
Jefferson Institute Site	1C/3C	Marker/PCZO 183.060
McCoy Substation	1B	NA
McCoy Store/PO/IOOF Hall	1C/3C	PCZO 183
Nesmith Cemetery	1C/3C	PP Zone
Oak Grove Townsite	1C/3C	Marker/PCZO 183.060
Oak Grove Grange	1C/3C	PCZO 183
Oak Grove School Site	1C/3C	Marker/PCZO 183.060
Oak Grove Chapel	1C/3C	PCZO 183
Parker School - NR	1C/3C	PCZO 183
Pedee School	1C/3C	PCZO 183.060
Perrydale RR Depot	1C/3C	PCZO 183
Phillips House - NR	1C/3C	PCZO 183
Purvine House	1C/3C	PCZO 183
Riley-Cutler House - NR	1C/3C	PCZO 183
Ritner Creek Bridge - NR	1C/3C	PCZO 183
Sears House	1B	NA
Spring Valley Church/Cemetery - NR	1C/3C	PCZO 183
Spring Valley School	1C/3C	PCZO 183
St. Pierre House - NR	1C/3C	PCZO 183
Union Baptist Church	1C/3C	PCZO 183
Valley and Siletz Railroad	1B	NA
Van Duzer Corridor	1C/3C	TC zoning
Wells (Geo.) House - NR	1C/3C	PCZO 183
West Side Highway	1B	NA

NOTES:

- * Designations - 1B = Inadequate information to determine significance, pursuant to OAR 660-16-000(5)(c).
- 1C = Significant resource, pursuant to OAR 660-16-000(5)(c).
- 3C = Balance conflicting uses, pursuant to OAR 660-16-010(3).
- NR = Listed on National Register of Historic Places
- ** Treatments - PCZO 183 = Polk County Zoning Ordinance, Chapter 183, Historic and Archaeological Resources
- PCZO 183.060 = Refers to Archaeological Resources "discovery" Ordinance
- PP Zone = Public Park Zone (PCZO 170)
- PS Zone = Public Service Zone (PCZO 170)
- PC Zone = Public/Private Cemetery Zone (PCZO 170)
- Marker = Will be considered in a program to develop and place interpretive signage or kiosks to promote interest and awareness of historical people and places in Polk County.
- NA = Not Applicable